

## **COUNCIL AGENDA REPORT**

**TO:** City Council

**FROM:** Planning Commission  
Prepared by: Director of Community Development

**SUBJECT: HERITAGE WALK LOFTS DOWNTOWN PERMIT AT 201 TOWN CENTER WEST**

### **RECOMMENDATION:**

That the City Council accept the recommendation of the Planning Commission and adopt a Resolution approving a Downtown Permit (DT2022-0018) for Heritage Walk Lofts at 201 Town Center West.

### **BACKGROUND:**

The applicant, Vernon Group, is requesting to remodel the existing 85,900-square-foot two-story building formerly occupied by Fallas and Mervyn's department stores to include 104 loft apartments. The 1.3-acre site at 201 Town Center West, located west of Broadway and south of Main Street, is in the Specific Plan/Town Center (SP/Town Center) ( ) zoning district (Exhibit A – Vicinity Map). The building is centrally located within the Town Center West shopping center that includes Santa Maria Gastroenterology and First United Methodist Church to the south, multi-tenant commercial and office buildings to the north, and additional commercial and Frontier Communications to the west.

Given the project's scope and location along a major corridor, as identified in the Downtown Specific Plan, a Downtown Permit is required for review by both the Planning Commission and City Council.

This project was presented to the Planning Commission at a regularly scheduled meeting on February 15, 2023. The Planning Commission made a recommendation to the City Council to approve the project unanimously, with positive remarks on the potential transformation of the building. This project was also previously discussed at a Downtown Revitalization Committee meeting on June 27, 2022, and at a joint meeting of the Downtown Revitalization Committee, Planning Commission, and City Council on December 12, 2022. The joint meeting in December 2022 included a larger discussion on design and architecture for Downtown, resulting in the consensus that future Downtown development reflects a high-quality design that is complimentary to the existing Spanish and Mediterranean-style buildings in the area.

### **DISCUSSION:**

The proposed project is an adaptive reuse of the largest free-standing retail building in Downtown and will consist of 104 residential market-rate rental units with an average unit size of approximately 680 square feet. Adaptive reuse refers to the process of reusing an existing building for a purpose other than which it was originally built or designed for. The

applicant proposes 98 studio housing units and 6 one-bedroom housing units, all with a loft-style design, with 18-foot-tall ceilings and mezzanine living and sleeping areas. The loft-style design is a popular technique for repurposing former commercial or industrial buildings and offers a more spacious residential living environment.

The existing "box-shaped" building will be significantly modified to create a grand entry paseo that leads to an open, landscaped central courtyard. Walls would be replaced by windows, providing natural light for the new residences. Shade-loving plants and trees are proposed in the central open-to-sky courtyard. Private patios or second-floor decks are provided for each unit and will either have a view of the surrounding downtown or the central courtyard. A community roof-top deck with tree planters, seating, and firepits is also proposed. There are two ground-floor community rooms, bike storage on each floor, and two elevators on either side of the building.

### Architecture

According to the Downtown Specific Plan, developments are encouraged to have their own identity and provide functional and aesthetically pleasing pedestrian scale articulation. The proposed project achieves this and meets the Specific Plan's Design Guidelines by incorporating contemporary architectural elements, but through references to the Spanish-Mission style, integrating with the adjacent town center buildings as well as the historical church and City buildings. Arched openings, windows incorporating lintels, corbels, wrought iron balconies and wall details, and stylized exterior light fixtures reference Spanish-Mission design. The forms (arcades, arches, and recessed entries), materials (stucco, tile, wrought iron), and colors are also representative of classic Mediterranean architecture, while the fenestration (window patterning, opening size, and proportion) and detailing are reflective of today's building standards. The use of wood, metal, and large windows blend contemporary and traditional designs.

### Parking

Residential projects within the Downtown Specific Plan are required to provide on-site parking per unit, according to the unit size: 0.5 of a parking space is required for each unit less than 400 square feet in size, 0.75 of a parking space for units 400-600 square feet in size, and 1 space per for those units larger than 600 square feet. Based on the sizes of the 104 units proposed, this development is required to provide 97 parking spaces.

Adjacent parking formerly provided for Fallas and Mervyn's department stores is available. The parking surrounding the existing building and used by Town Center West, First Methodist Church, and Santa Maria Gastroenterology is owned, controlled, and maintained by the City of Santa Maria. The City will require the project property owner to enter into a contractual agreement with the City for the use, refurbishment, and ongoing maintenance of a portion of the existing City-owned parking lots that are to be used by the project. Although parking will be permitted on the City lots, the parking spaces will be non-exclusive; therefore, the parking will not be on a reserved or permit basis. There are a total of 679 parking spaces total within the parking areas on the northeast, southeast, and southwest sides of the building (Vicinity Map, Exhibit A).

Some of the adjacent parking areas is anticipated to be redeveloped. When this occurs, new parking will be made available at the same location, or would be provided in the surrounding area, including but not limited to the parking garages at Santa Maria Town

Center. The Downtown Specific Plan allows for a reduction of parking requirements based on the proximity of the project site to City-owned parking lots and/or structures.

#### Conformance to the Downtown Specific Plan

The project meets the Downtown Vision of a "pedestrian-oriented city center with an integrated mix of land uses woven together by well-designed streetscapes in a safe and clean environment." The Town Center District is identified in the Specific Plan as a central location for drawing people to the downtown core through a mix of uses focused on entertainment, living, shopping, recreation, culture, civic use, and employment.

The proposed project is one component of a larger Downtown revitalization effort that the Vernon Group is working on, in coordination with the City, including concept proposals on nearby City-owned parcels. The overall revitalization plan will include mixed-use development, including multi-storied apartments, ground-floor commercial, retail and dining, a hotel, and significant open space and plaza areas intended to create a pedestrian-friendly downtown destination within the existing Town Center West location.

The existing building orientation fronts both the street and Town Center West shopping center. The entry plaza is strategically placed to be visible from the intersection at Main Street and Broadway, creating pedestrian interest and a focal point for the building. From this project site, future residents will be within close walking distance of a wide variety of shopping and recreational opportunities, including nearby businesses on Main and Broadway, the shopping and services of Town Center East and West, the City Library, Simas Park and the other public facilities on South McClelland Street.

#### Fiscal Considerations

This project is a prime example of infill development and adaptive reuse. Although a commercial use is being replaced by residential use, the quality enhancement of the building and project site will stimulate surrounding redevelopment and attract future commercial uses. As mentioned, this project is one component of a larger Downtown concept that is intended to be a transformative project for the center of Santa Maria.

The project qualifies for incentives based on the new development requirements of the Downtown Specific Plan and as outlined in the special findings for Downtown Permits. Since this project has met development and design objectives, staff and the Planning Commission has agreed to reduce fees by 50 percent for the project's building permits. The Recreation and Parks Department will charge reduced subdivision in-lieu fees based on the 2016 fee schedule. Lastly, the Downtown Specific Plan allows the applicant to request a payment plan for the project's AB 1600/Growth Mitigation fees, with a maximum period of 10 years, through an agreement processed with the City Attorney.

#### Environmental Procedures

This project qualifies as a Class 32 (In-Fill Development Projects) Categorical Exemption by Section 15332 of the State California Environmental Quality Act Guidelines. The project would not result in significant effects to water quality, air quality, traffic, or noise. No further environmental review is required.

Alternative

The City Council, through written findings, may determine that the proposed high density residential would have a specific adverse impact upon the public health or safety and there is no feasible method to satisfactorily mitigate or avoid the adverse impact.

**CONCLUSION:**

The project meets the vision, intent, goals, and development standards of the Downtown Specific Plan. The building transformation and design will be an enhancement to Town Center West and would be influential in guiding the future physical form of the Downtown. The loft-style apartments are unique to Santa Maria and would be distinctive to Downtown. This project would be a catalyst in attracting more redevelopment in the area and would be the first of several phases of a larger Downtown redevelopment effort at Town Center West.



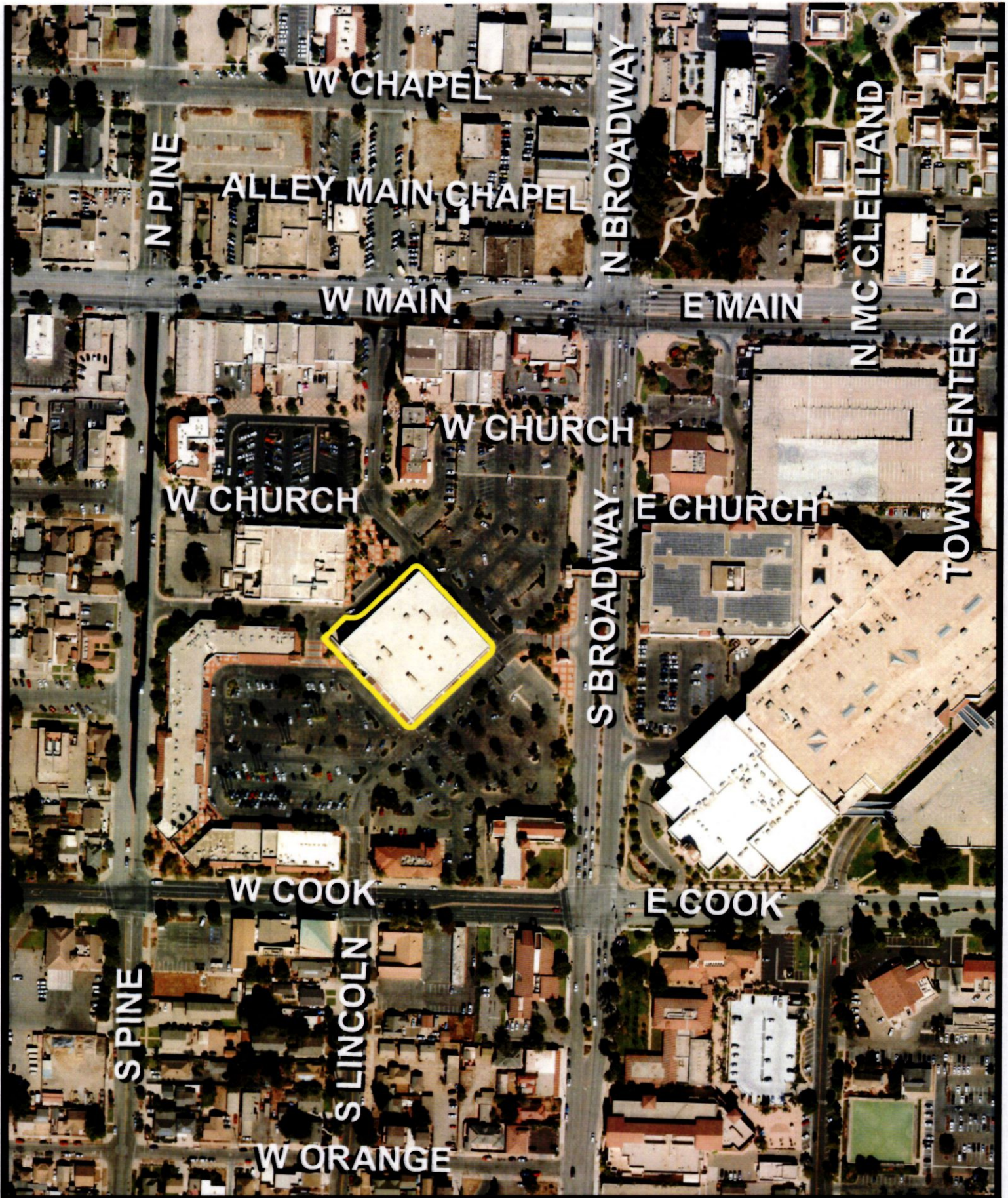
**CHUEN NG**

Director of Community Development

Attachments

- A: Vicinity Map
- B: Plan Set
- C: Downtown Permit









# LOFTS @ TOWN CENTER

## VICINITY MAP



## PUBLIC HOUSING STATEMENT

THIS PROJECT DOES NOT MEET THE DEFINITION OF CBC SECTION 202 PUBLIC HOUSING. PROJECT TO COMPLY WITH THE ACCESSIBILITY STANDARDS OF CBC CHAPTER 11A.

## PROJECT DIRECTORY

**OWNER:** THE VERNON GROUP  
P.O. BOX 4040  
SANTA BARBARA, CA 93140

**ARCHITECT:** RRM DESIGN GROUP  
3765 S. HIGUERA STREET, SUITE 102  
SAN LUIS OBISPO, CA 93401  
CONTACT: BOB TOMASZEWSKI  
PHONE: (805) 543-1794  
EMAIL: RTOMASZEWSKI@RRMDSIGN.COM

**PROJECT ADDRESS:** 201 TOWN CENTER WEST  
SANTA MARIA, CA 93454

**APN:** 123-280-003

## PROJECT DESCRIPTION

THE APPLICANT IS PROPOSING ADAPTIVE REUSE OF AN EXISTING BUILDING ON A 1.29 ACRE SITE IN THE TOWN CENTER DISTRICT OF SANTA MARIA. THE BUILDING IS CURRENTLY USED AS COMMERCIAL RETAIL SPACE. APPLICANT IS PROPOSING TO BUILD 104 STUDIO AND 1-BEDROOM LOFT STYLE APARTMENTS, RANGING FROM 400 SF TO 1,200 SF EACH.

PARKING IS PROVIDED IN A PORTION OF THE EXISTING PARKING LOT, THAT WILL BE DEDICATED FOR THE RESIDENTS OF THE PROJECT. PARKING LOT WILL BE MODIFIED TO PROVIDE THE REQUIRED EV AND ACCESSIBLE PARKING SPACES.

PROPOSED AMENITIES INCLUDE BIKE STORAGE ROOMS, INTERIOR COURTYARD, COMMON ROOMS, AND A ROOFTOP TERRACE.

PROPOSED PROJECT DECREASES THE EXISTING IMPERVIOUS SURFACE BY ~7,800 SF THROUGH THE INTRODUCTION OF A COURTYARD INTO THE BUILDING.

THIS PROJECT DOES NOT MEET THE DEFINITION OF "PUBLIC HOUSING" PER CBC SECTION 202.

## PROJECT STATISTICS

**ZONING:** SP-TOWN CENTER  
**PARCEL SIZE:** 1.29 ACRES (56,279 SF)

**EXISTING BUILDING AREA:** 85,905 SF  
**GROUND FLOOR:** 41,892 SF  
**SECOND FLOOR:** 44,016 SF

**BUILDING GROSS AREA:** 68,070 SF  
**GROUND FLOOR:** 34,035 SF  
**SECOND FLOOR:** 34,035 SF  
**ROOF DECK:** 7,261 SF  
(NOT INCLUDED IN GROSS BUILDING AREA)

UNIT TYPE	UNIT AREA	UNIT COUNT
STUDIO	500 SF - 850 SF	98
1-BED	1,200 SF	6

**MAX LOT COVERAGE:** (NO MAXIMUM PER SPECIFIC PLAN)  
**EXISTING COVERAGE:** 78.6% (GROUND FLOOR/PARCEL SIZE)  
**PROPOSED COVERAGE:** 60.5% (GROUND FLOOR/PARCEL SIZE)

**MAX. F.A.R.:** (NO MAXIMUM PER SPECIFIC PLAN)  
**EXISTING F.A.R.:** 1.53 (BUILDING GROSS/ PARCEL SIZE)  
**PROPOSED F.A.R.:** 1.21 (BUILDING GROSS/ PARCEL SIZE)

**LANDSCAPE AREA:** 15% REQUIRED (8,442 SF)  
17.7% (9,947 SF)

**IMPERVIOUS SURFACE:** 46,332 SF

**MAX. ALLOWED HEIGHT:** 70 FT.  
**MAX. PROPOSED HEIGHT:** 52 FT.

## PROJECT STATISTICS

YARD SETBACKS	REQUIRED	PROPOSED
FRONT	0'	5'-4"
SIDE	5'	5'-5"
REAR	10'	10'-11"

**CONSTRUCTION TYPE:**  
**EXISTING:** II-N  
**PROPOSED:** V-A

CLOTHES WASHERS	REQUIRED	PROPOSED
1 WASHER / 7 DWELLING UNITS	CSMMC 9-4.306	16
104 DWELLING UNITS / 7	14.9	

## PARKING

AUTO PARKING	CALCULATION	SPACE COUNT
<b>PARKING REQUIRED:</b>		
<b>RESIDENTIAL:</b> 29 UNITS	75 SPACE PER UNIT TYPE 400-600 SF	21.75
75 UNITS	1 SPACE PER UNIT TYPE < 600 SF	75

**PARKING REQUIRED:** 97  
**PARKING PROVIDED:** 97

**ACCESSIBLE PARKING PROVIDED:** 5  
**TOTAL PARKING PROVIDED:** 102

**BIKE PARKING:**  
**LONG TERM:** BIKE STORAGE ROOM  
**SHORT TERM:** PEAK STYLE RACKS

## SHEET INDEX

SPACE COUNT	TITLE SHEET
T1	TITLE SHEET
T2	ENTRY PLAZA PERSPECTIVE
A3	EXISTING SITE SURVEY
A4	PROPOSED SITE PLAN
A5	GROUND FLOOR PLAN
A6	SECOND FLOOR AND ROOF PLAN
A7	UNIT FLOOR PLANS
A8	ELEVATIONS
A9	ELEVATIONS
A10	SITE SECTIONS
A11	TRASH ENCLOSURE
A12	COLOR AND MATERIALS
C1	CIVIL GRADING AND DRAINAGE PLAN
C2	CIVIL UTILITY PLAN
L1	CONCEPTUAL LANDSCAPE PLAN
L2	CONCEPTUAL LANDSCAPE PLAN - ROOFTOP
L3	PLANTING NOTES
L4	PLANTING DETAILS
L5	TREE INVENTORY PLAN
L6	PLANT IMAGERY
L7	AMENITY IMAGERY







# GENERAL NOTES

TOPOGRAPHIC FIELD SURVEY CONDUCTED JULY 14TH, 2022

BOUNDARY DATA PER PM BK 40 PG 96

THE BASIS OF BEARINGS FOR THIS SURVEY IS A LINE BETWEEN A FOUND 12" IRON PIPE ALONG THE EASTERLY RIGHT-OF-WAY OF SOUTH BROADWAY AND A FOUND TAG AT THE BEGINNING OF THE NORTHERLY CURVE OF PARCEL 1 THE BEARING BEING N 42°19'44" W PER R. SHOWN HEREON.

THE BENCHMARK FOR THIS SURVEY IS A SET MAG NAIL IN THE SOUTHEAST PORTION OF LOT 4 THE ELEVATION BEING 217.16' NAVD 88, SHOWN HEREON.

1 FOOT CONTOUR INTERVAL

EASEMENT

## LEGEND

AC ASPHALT  
AD AREA DRAIN  
BM BENCHMARK ELEVATION  
CNC CONCRETE  
CLSTR CLUSTER  
EL ELEVATION  
EM ELEC METER  
FF FINISH FLOOR  
FND FOUND  
FS FINISH SURFACE  
GM GAS METER  
HB HOSE BIB  
IN INCH  
MB MAIL BOX  
NG NATURAL GROUND  
OHD OVERHEAD ELECTRICITY  
PP POWER POLE  
SCO SEWER CLEAN OUT

R PM BK 40 PG 96  
● FOUND MONUMENT PER R  
○ LOCATION OF PROPERTY CORNER PER R

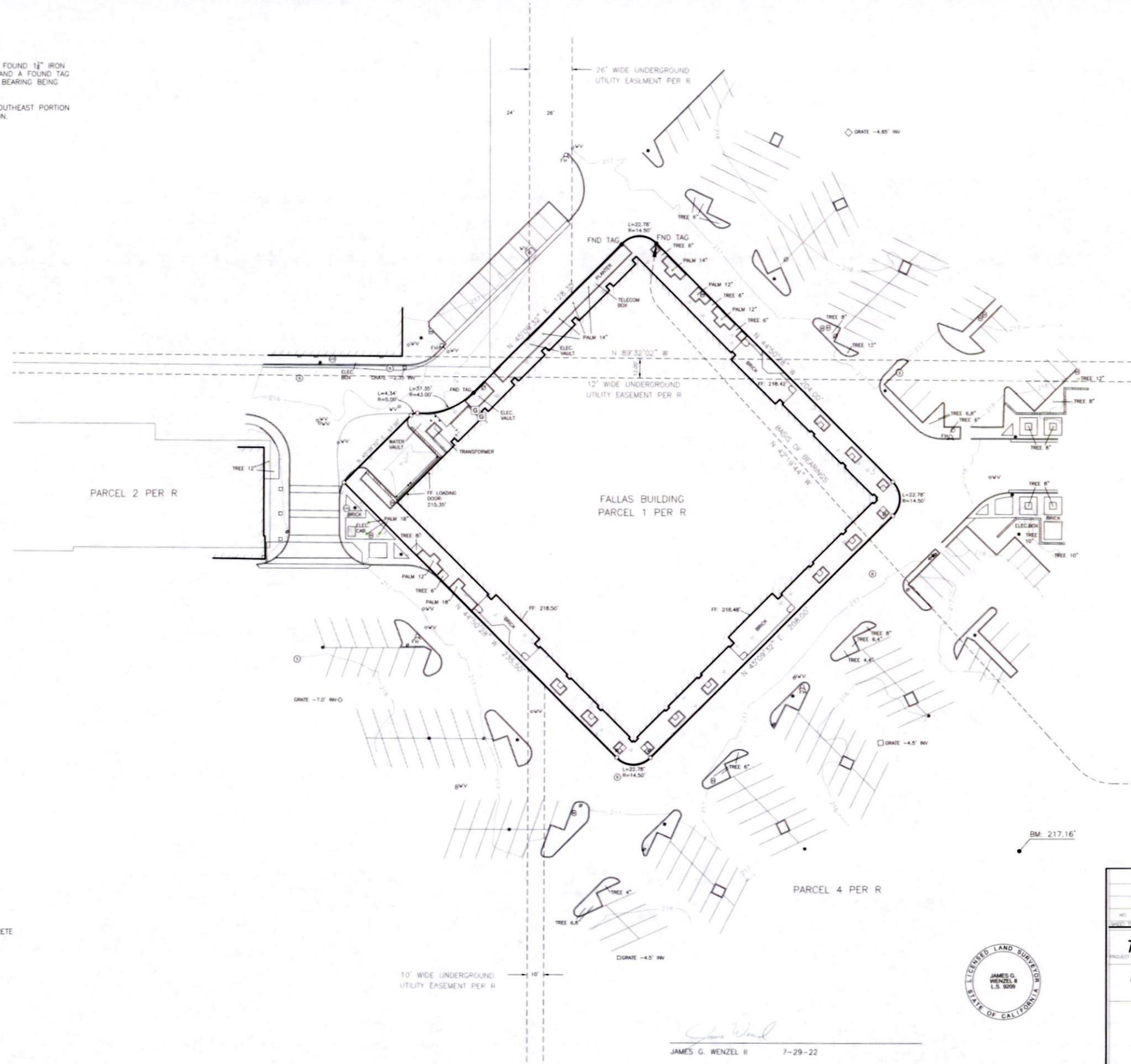
PROPERTY LINE  
BUILDING LINE  
OVERHEAD POWER  
TREE DRIP LINE/HEDGE  
EDGE OF PAVEMENT  
WOOD FENCE  
METAL FENCE  
CHAINLINK FENCE  
WALL

⊙ GAS METER  
● TREE TRUNK  
● LIGHT POLE  
⊙ IRRIGATION CONTROL VALVE  
FH FIRE HYDRANT  
● BOLLARD  
⊙ GTE MANHOLE  
⊙ SEWER MANHOLE  
⊙ ELECTRIC METER  
⊙ SIGN  
○ VV WATER VALVE

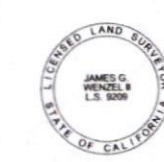
ASPHALT  
CONCRETE

THIS DOCUMENT IS PROVIDED IN AN ELECTRONIC FORMAT AS A COURTESY. THE DELIVERY OF THE ELECTRONIC DOCUMENT DOES NOT CONSTITUTE THE DELIVERY OF OUR PROFESSIONAL WORK PRODUCT. ONLY THE SIGNED ORIGINAL DRAWING OR PRINT THEREOF CONSTITUTES OUR PROFESSIONAL WORK PRODUCT. WE ARE NOT RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC DOCUMENT OR FOR ANY PRODUCTS DERIVED FROM THE ELECTRONIC DOCUMENT.

WW SURVEYING, INC.



S BROADWAY  
SCALE 1"=30'



JAMES G. WENZEL II 7-29-22

TOPOGRAPHIC SURVEY			
PROJECT	503926	DATE	7-26-22
CLIENT	FALLAS BLDG, SM TOWN CNTR SANTA BARBARA, CA	DRAWN BY	BS
		CHECKED BY	JW
<b>WW SURVEYING, INC.</b> 1727 STATE STREET SUITE 25 SANTA BARBARA, CA 93101 (805) 748-3234			
1 OF 1 SHTS			

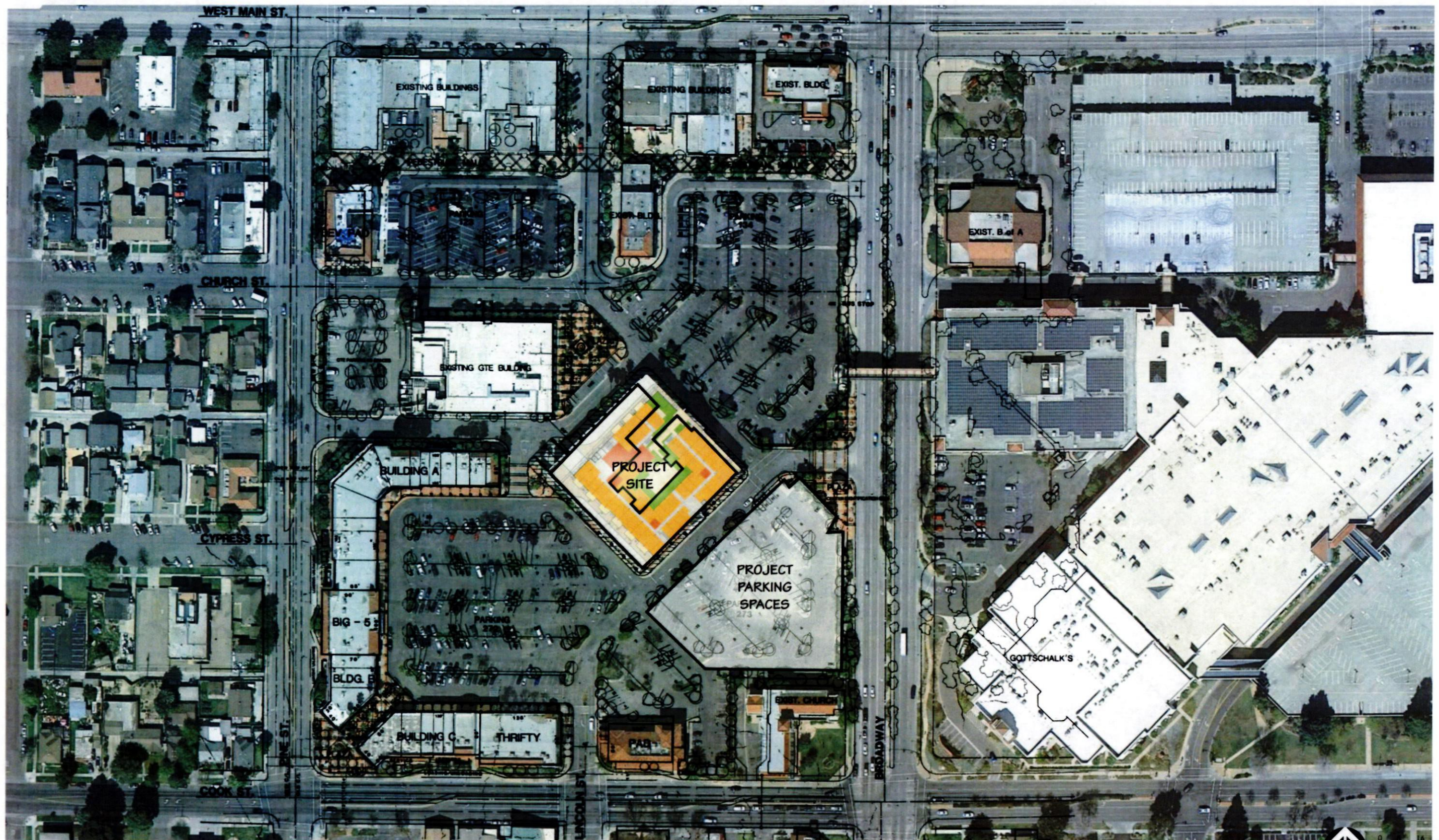


**EXISTING SITE SURVEY**  
**THE LOFTS @ TOWN CENTER**

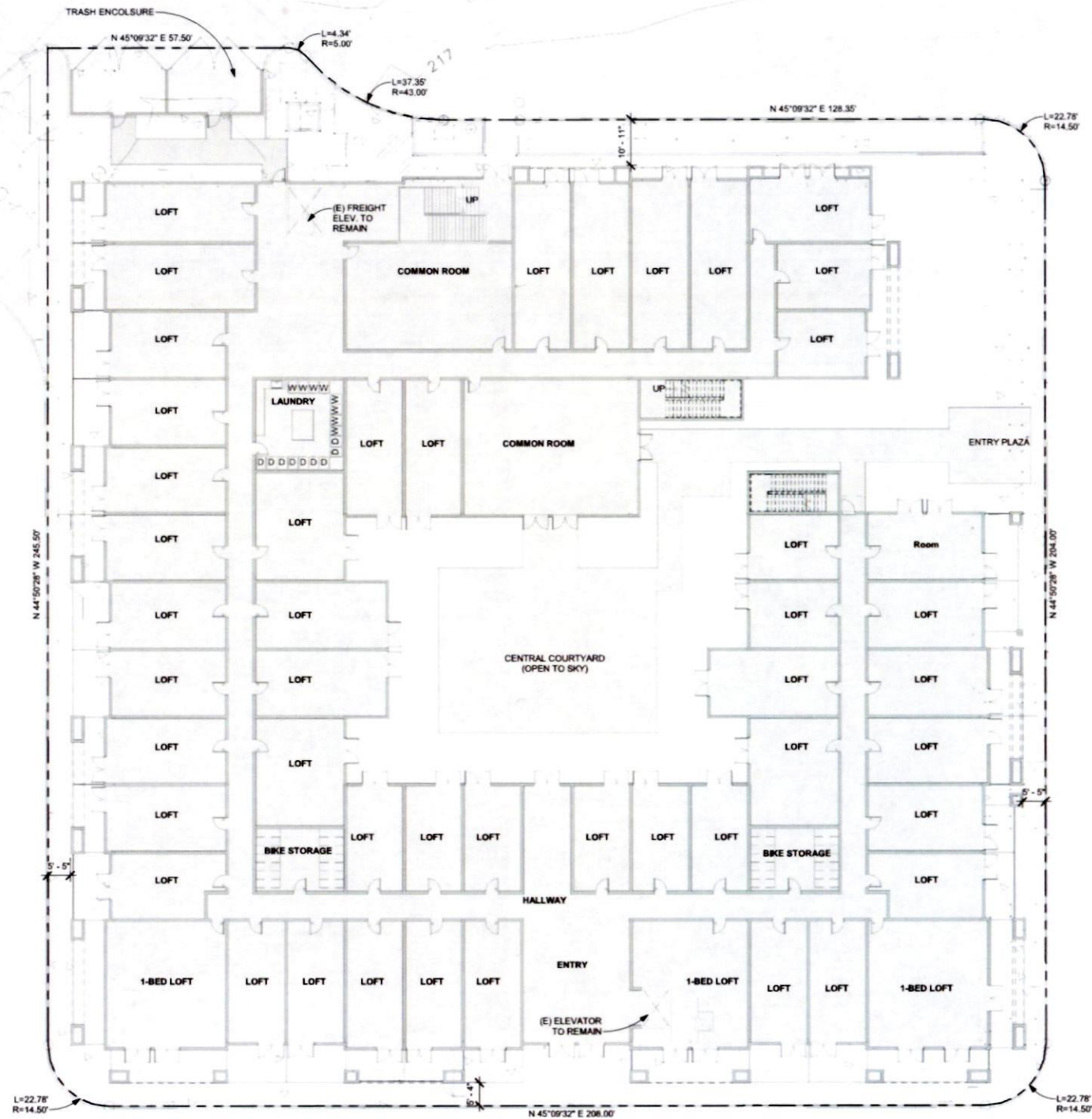
4 NOVEMBER, 2022  
2121-02-CU21

**A3**

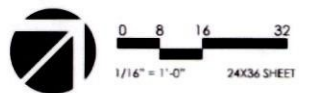




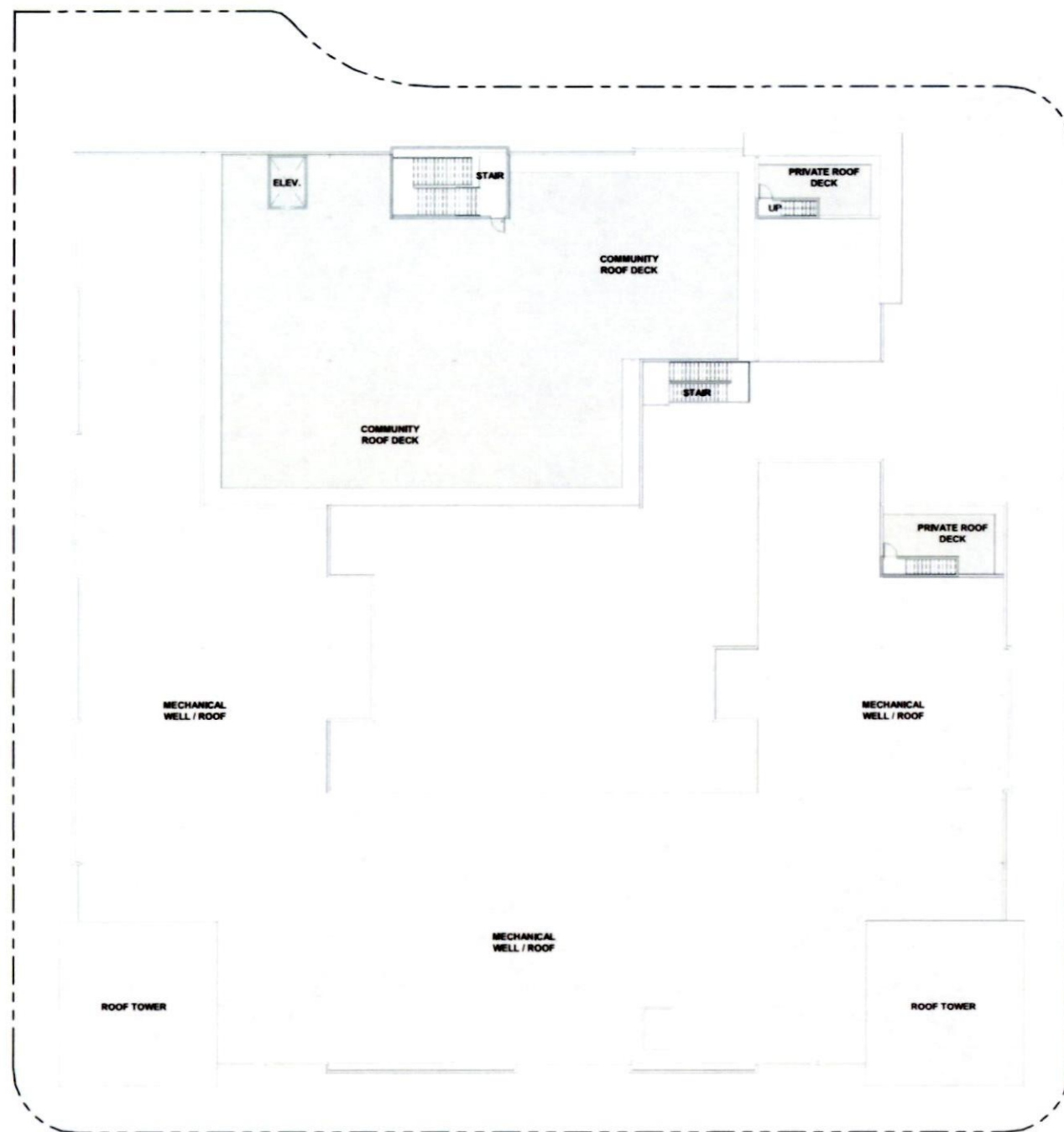




1 **GROUND FLOOR PLAN**  
1/16" = 1'-0" (24 X 36 SHEET)



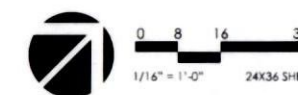


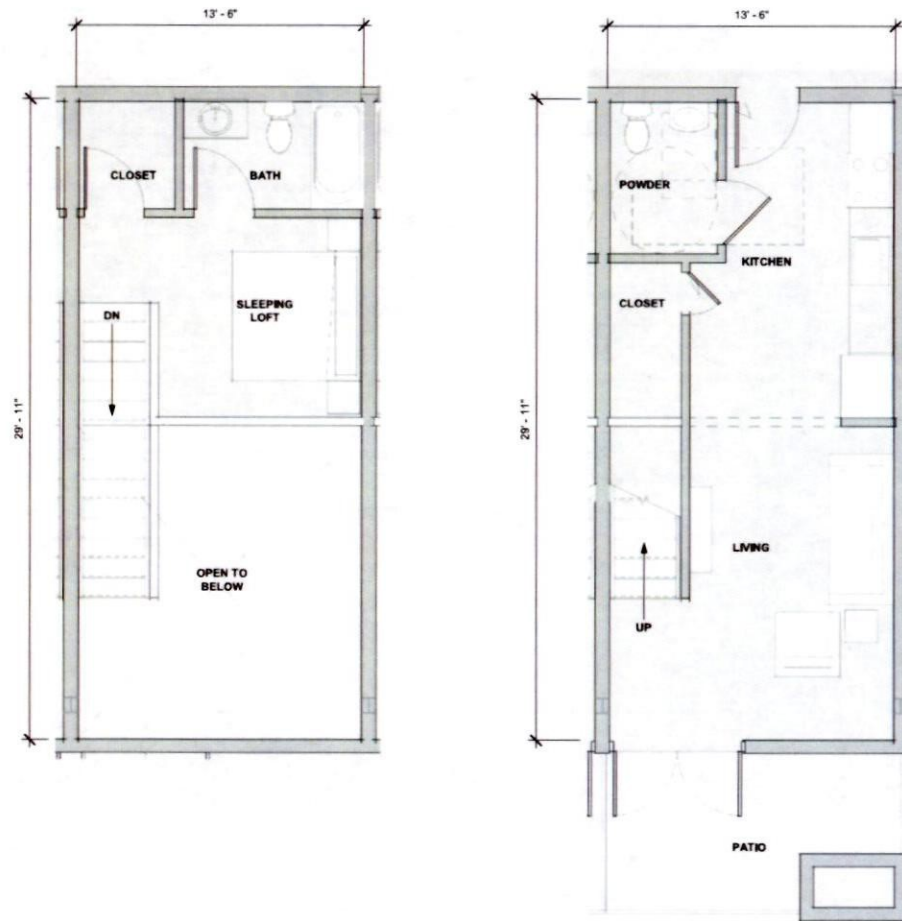


② **ROOF PLAN**  
1/16" = 1'-0" (24 X 36 SHEET)

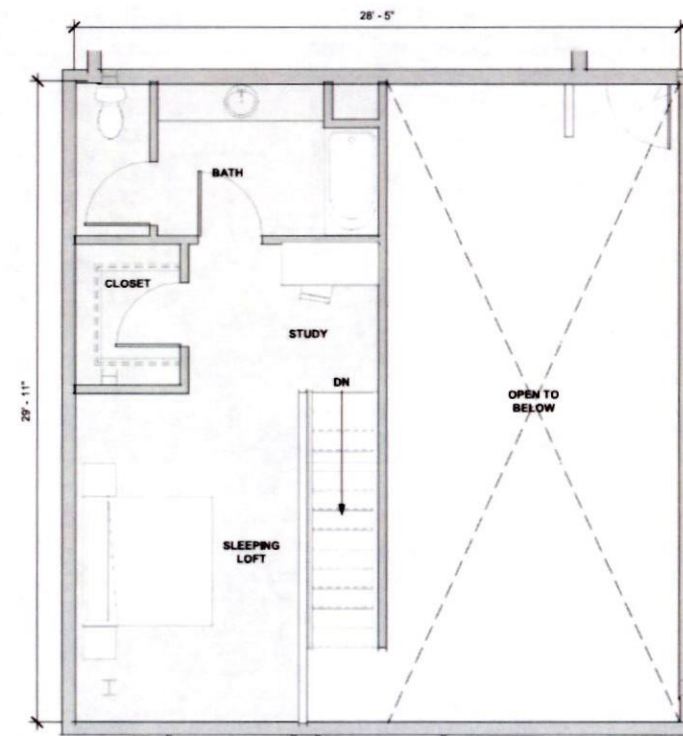


① **SECOND FLOOR PLAN**  
1/16" = 1'-0" (24 X 36 SHEET)

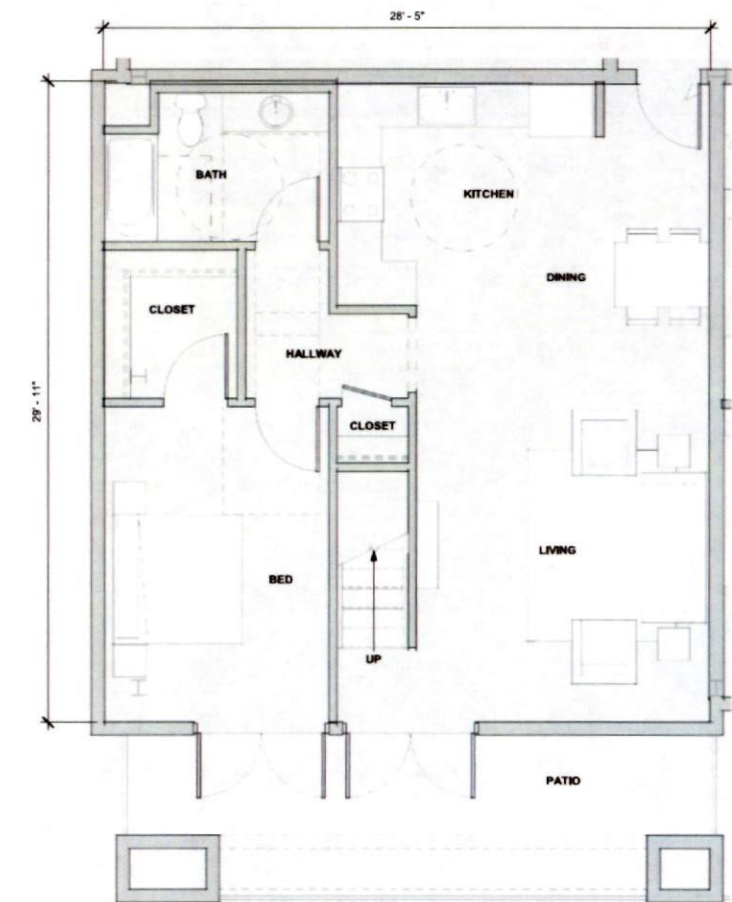




**TYP. LOFT UNIT PLAN**  
 450-550 SQFT GROUND FLOOR  
 150-185 SQFT LOFT



**TYP. 1 BEDROOM UNIT PLAN**  
 800-900 SQFT GROUND FLOOR  
 400-450 SQFT LOFT



0 2 4 8  
 1/4" = 1'-0" 24X36 SHEET





① SOUTH-EAST ELEVATION  
1/8" = 1'-0" (24 X 36 SHEET)



② NORTH-WEST ELEVATION  
1/8" = 1'-0" (24 X 36 SHEET)



**ELEVATIONS**  
**THE LOFTS @ TOWN CENTER**

4 NOVEMBER, 2022

2121-02-CU21

**A8**



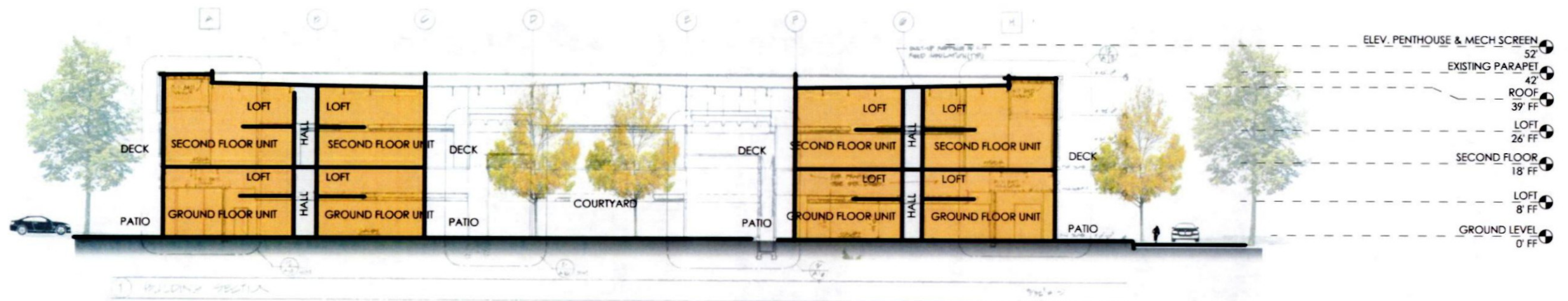


1 NORTH-EAST ELEVATION  
1/8" = 1'-0" (24 X 36 SHEET)

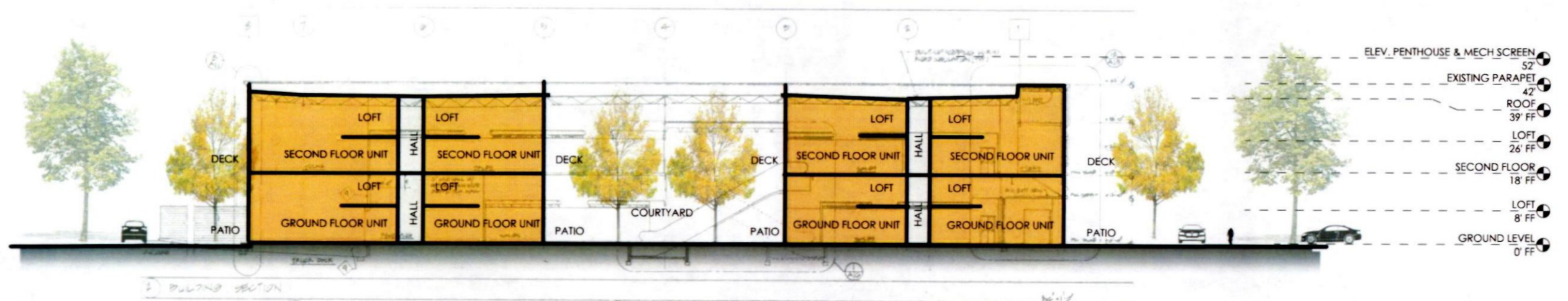


2 SOUTH-WEST ELEVATION  
1/8" = 1'-0" (24 X 36 SHEET)





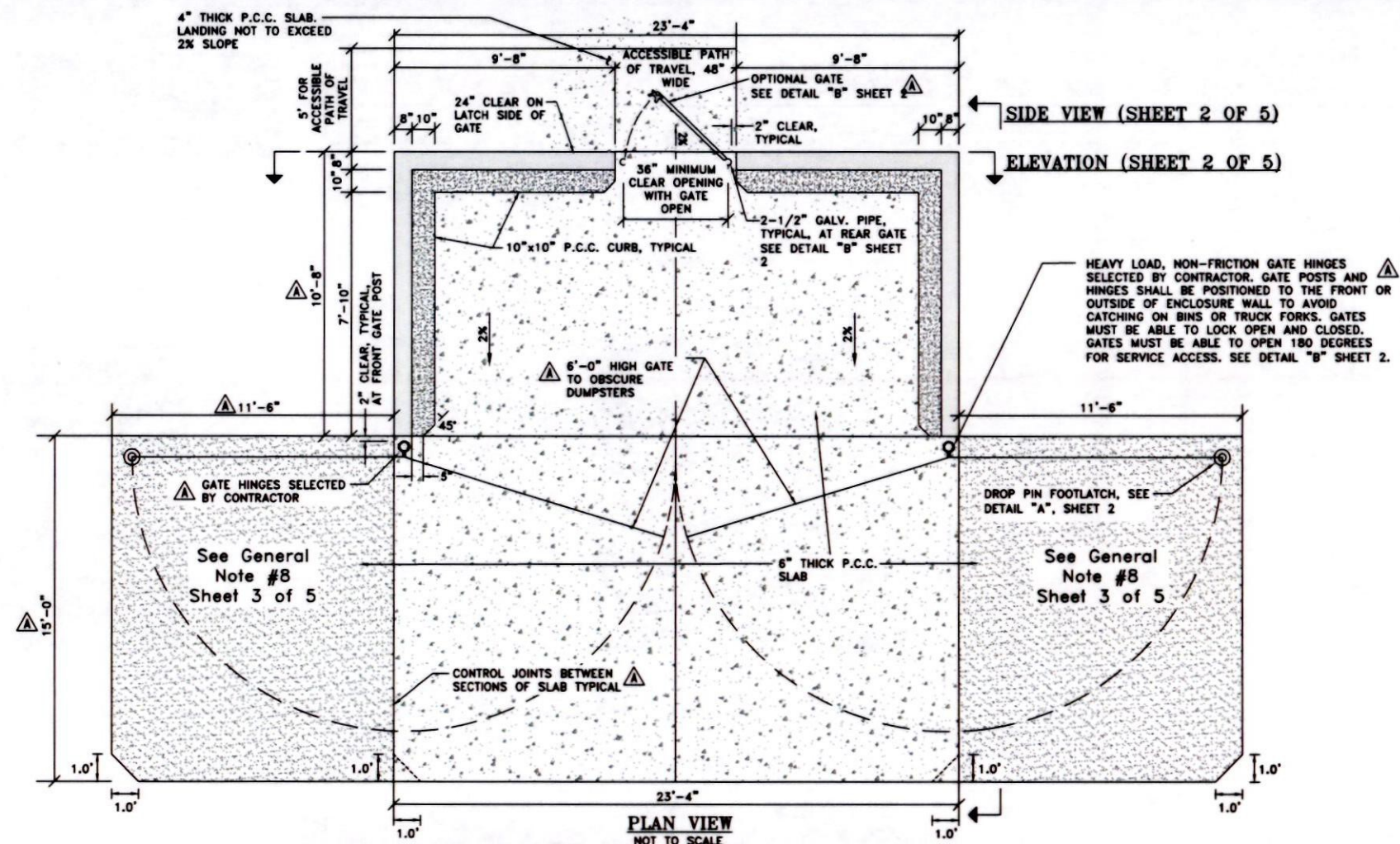
1 CROSS SECTION  
1/8" = 1'-0" (24 X 36 SHEET)



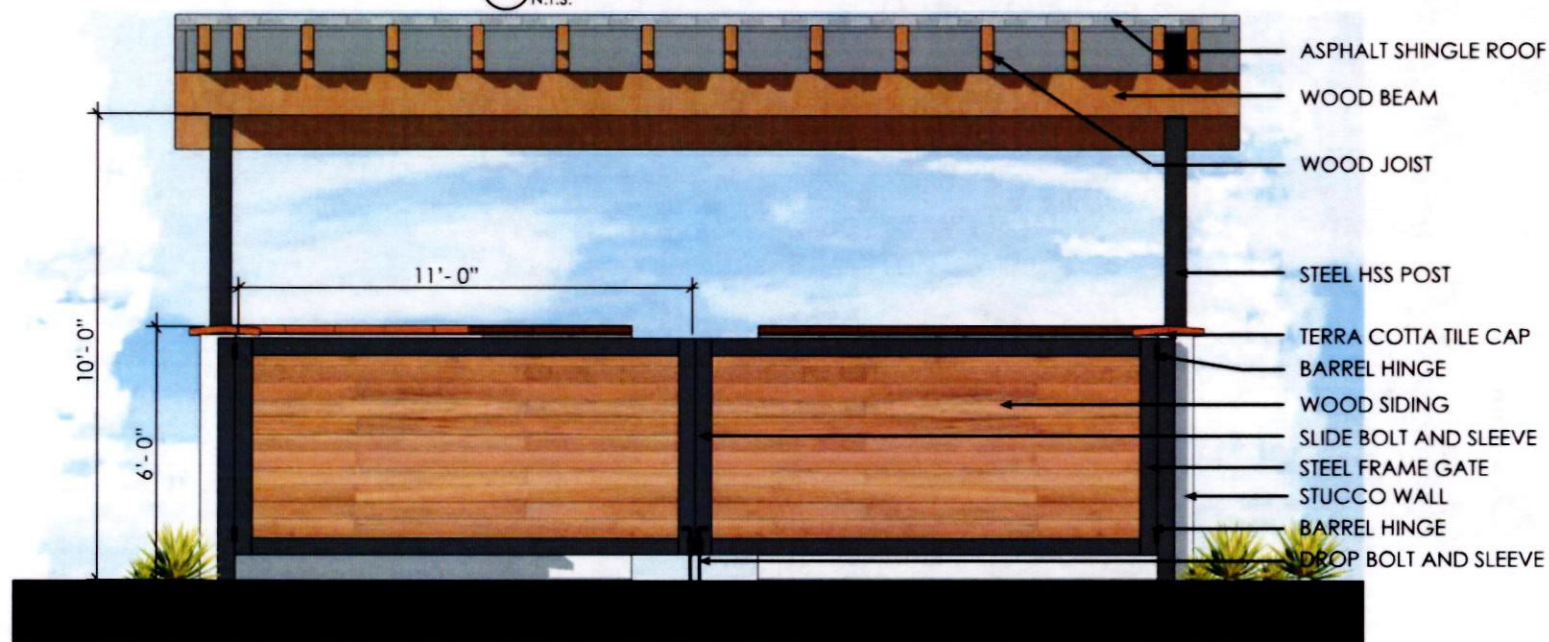
2 LONGITUDINAL SECTION  
1/8" = 1'-0" (24 X 36 SHEET)

0 8 16 32  
1/16" = 1'-0" 24X36 SHEET

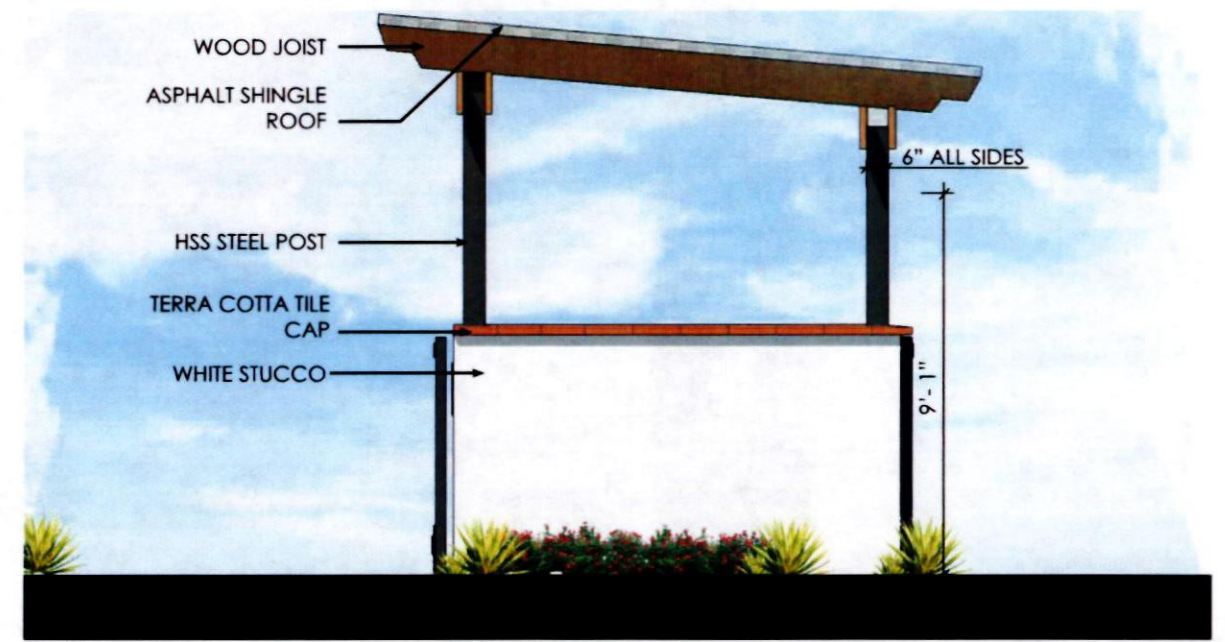




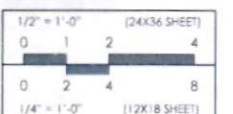
1 TRASH ENCLOSURE FLOOR PLAN  
 N.T.S.



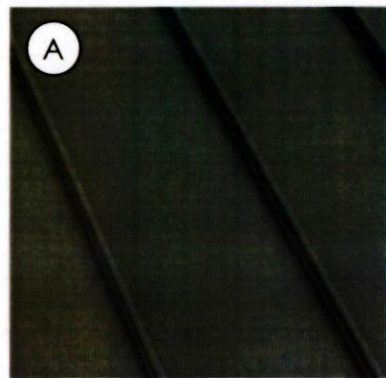
2 TRASH ENCLOSURE FRONT ELEVATION  
 1/2" = 1'-0"



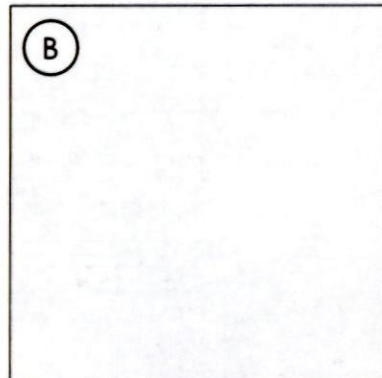
3 TRASH ENCLOSURE SIDE ELEVATION  
 1/2" = 1'-0"



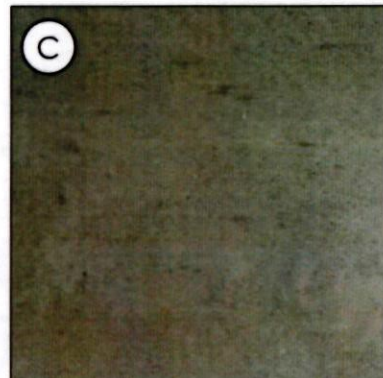




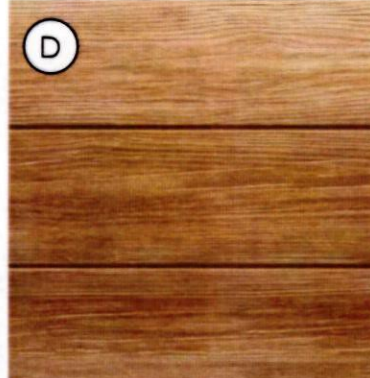
**METAL ROOFING**  
STANDING SEAM GRAY



**STUCCO**  
WHITE



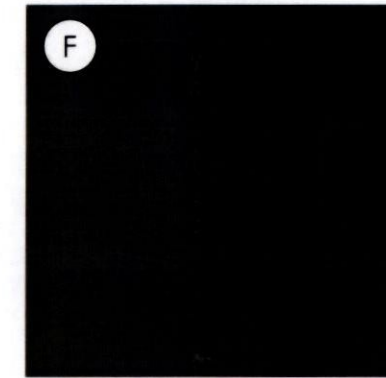
**STUCCO**  
GREY



**HORIZONTAL SIDING**  
FIBER CEMENT WOOD LOOK



**WROUGHT IRON ACCENTS**  
RAIL AND WALL



**BLACK (ANODIZED)**  
STOREFRONT



**BLACK**  
LIGHT FIXTURES



# EARTHWORK QUANTITIES

\* LESS THAN 50 C.Y.

## BASIS OF BEARINGS

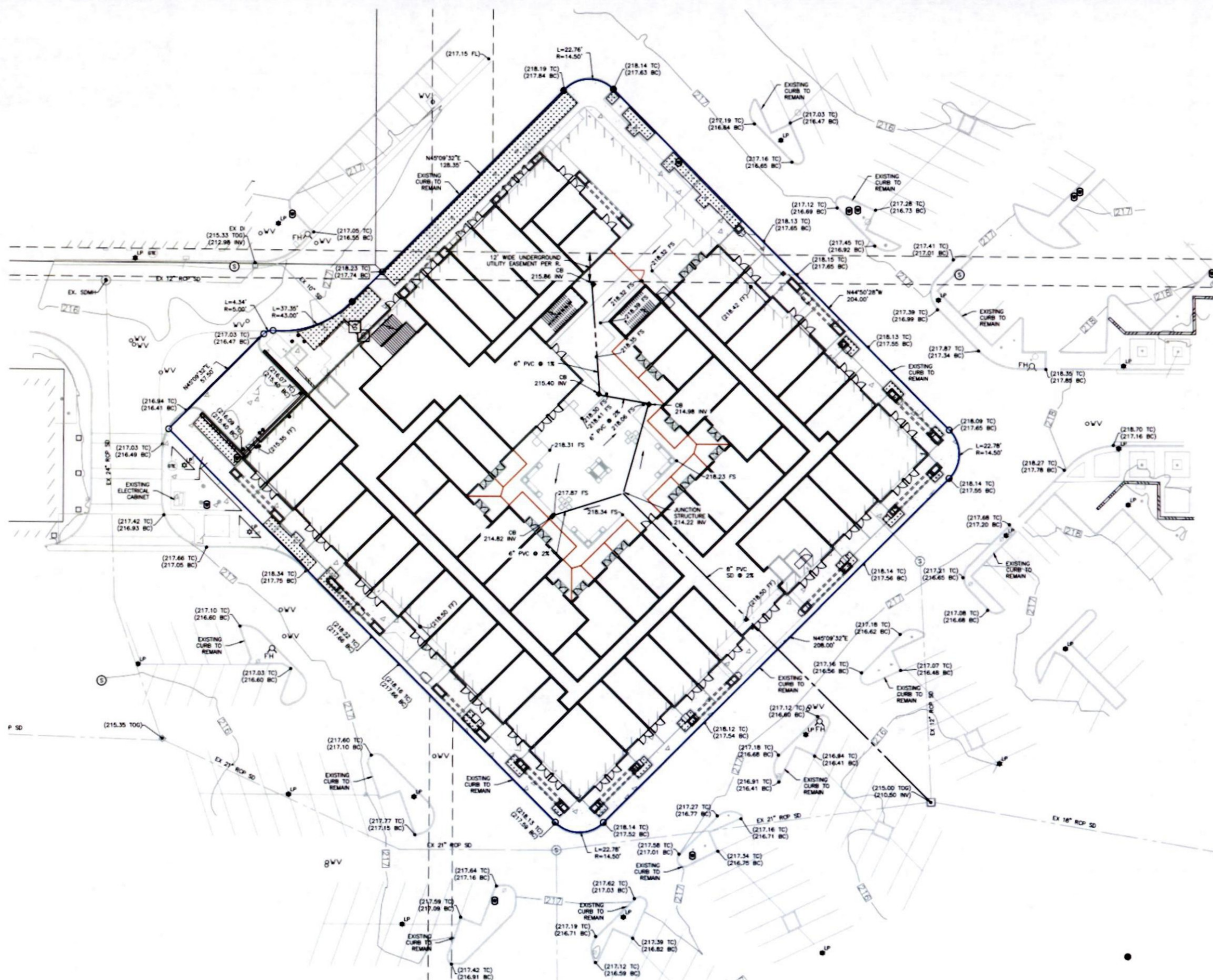
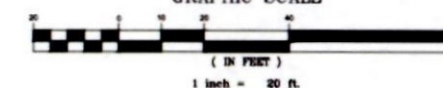
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## BENCHMARK

THE BENCHMARK FOR THIS SURVEY IS A SET BANG NAIL IN THE SOUTHEAST PORTION OF LOT 4 THE ELEVATION BEING 217.16' NAVD 83. SHOWN HEREON.



GRAPHIC SCALE



**TCW LOFTS**  
PRELIMINARY GRADING  
AND DRAINAGE PLAN

C-1

11/04/2022

**b BETHEL**  
engineering  
3634 Newport Dr., Santa Monica,  
California 90405 (805) 934-5767



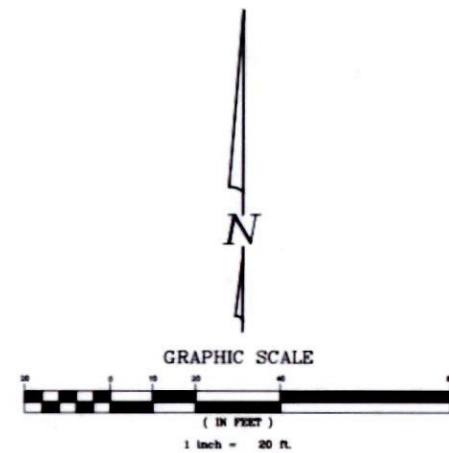
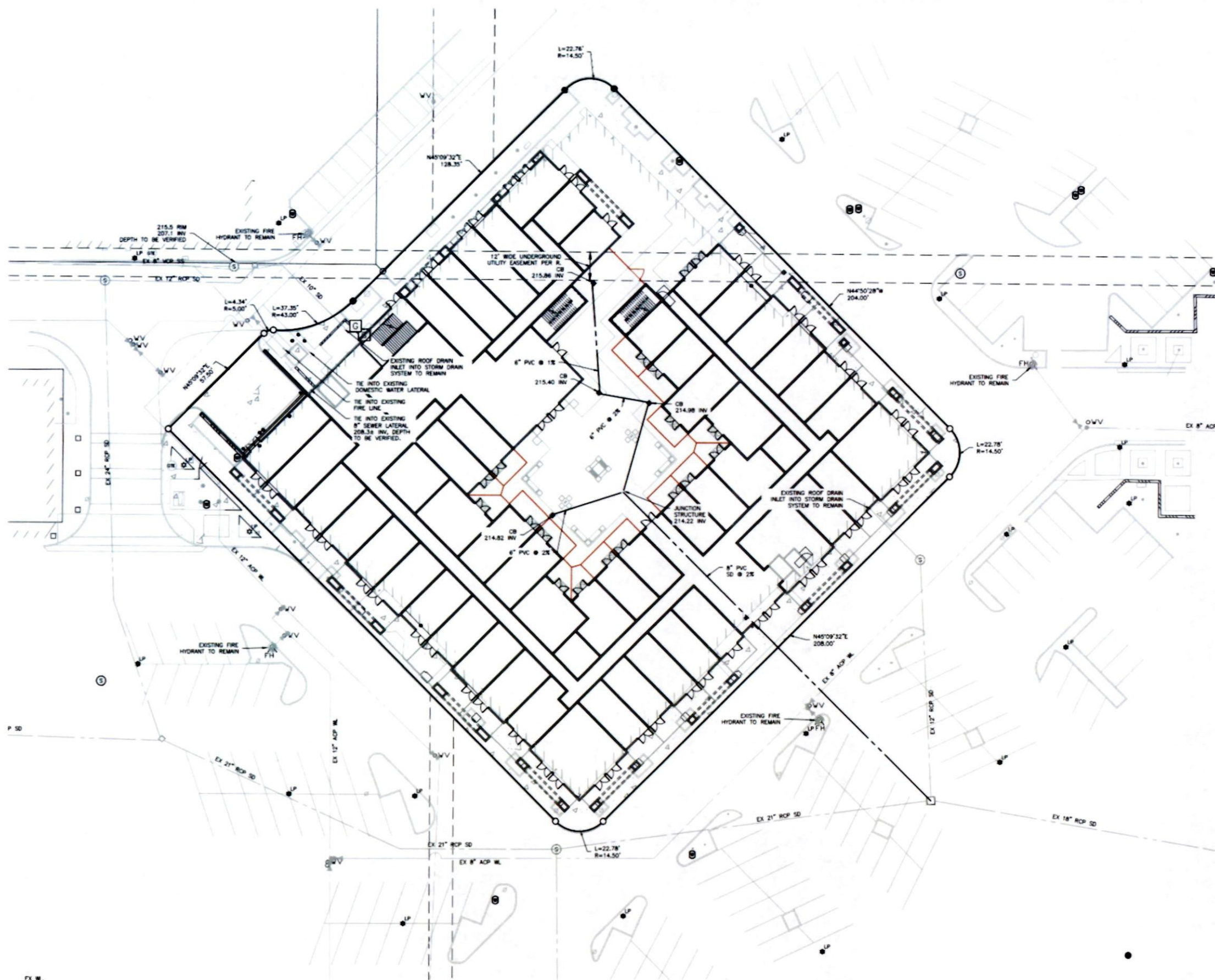
## CIVIL GRADING AND DRAINAGE PLAN THE LOFTS @ TOWN CENTER

4 NOVEMBER, 2022

2121-02-CU21

**C1**





#### LEGEND

WATER LINE	---
PROJECT BOUNDARY	---
CENTERLINE	---
PROPERTY LINE	---
EXIST. CURB LINE	---
NEW CURB LINE	---
FUTURE CURB LINE	---
STORM DRAIN	---
EXIST. STORM DRAIN	---
EASEMENT LINE	---
EXIST. SEWER MAIN	---
EXIST. WATER MAIN	---
BLOCK WALL	---
EXIST. BLOCK WALL	---
PROP. SLOPE AS NOTED	---
EXIST. CONTOURS	---
FINISHED FLOOR ELEV.	(XXX.XX)
EDGE OF PAVEMENT	E.P.
TOP OF CURB	T.C.
FINISHED GRADE	F.G.
EXISTING GRADE	E.G. (XXX.XX)
HIGH POINT	H.P.
LOW POINT	L.P.
FINISHED SURFACE	F.S.
TOP OF GRATE	T.O.G.
STORM DRAIN	S.D.
STORM DRAIN MANHOLE	---
EXIST. S.D. MANHOLE	---
STREET LIGHT	---
EXIST. STREET LIGHT	---
FUTURE STREET LIGHT	---
CATCH BASIN	---

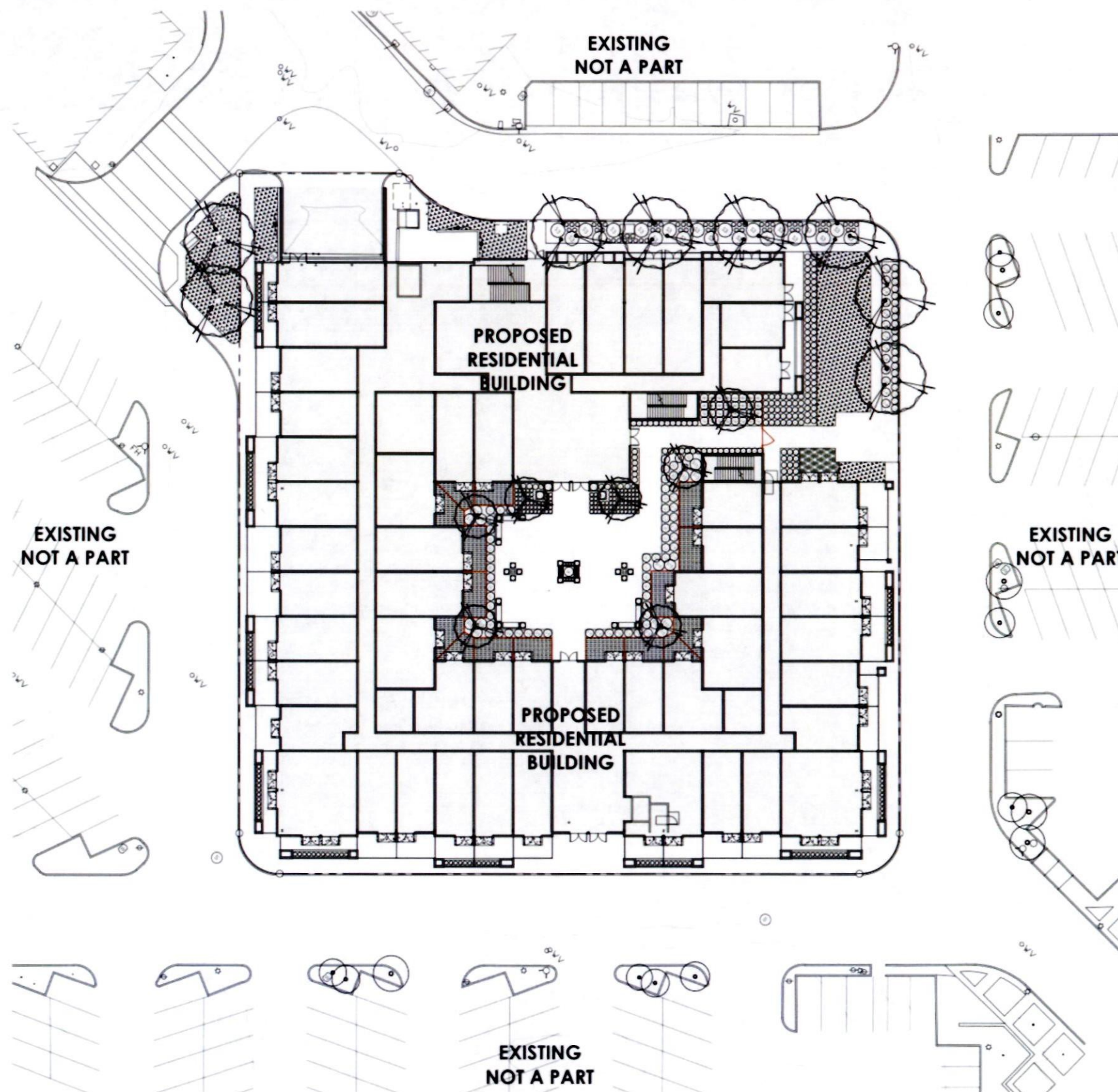
TCW LOFTS  
UTILITY PLAN

C-2

11/04/22

**BETHEL**  
engineering  
2824 Airport Dr., Santa Maria,  
California 93455 (805) 934-5767





## PLANT LEGEND

### TREES

SYMBOL	NAME
	11 ACER PALMATUM 'BLOODGOOD' BLOODGOOD JAPANESE MAPLE
	12 ARBUTUS MENZIESII PACIFIC MADRONE
	13 LAGERSTROEMIA 'NATCHEZ' NATCHEZ HYBRID CRAPE MYRTLE
	14 EXISTING TREE TO REMAIN
	15 EXISTING TREE TO BE REMOVED

### SHRUBS

SYMBOL	NAME
	S1 ASPARAGUS AETHIOPICUS FOXTAIL FERN
	S2 ASPIDISTRA ELATIOR CAST IRON PLANT
	S3 AUCUBA JAPONICA 'VAREGATA' VAREGATED GOLD DUST PLANT
	S4 BEGONIA x 'STERLING MOON' STERLING MOON BEGONIA
	S5 CAREX DIVULSA BERKELEY SEDGE
	S6 COLOCASIA ESCULENTA 'BLACK MAGIC' BLACK MAGIC ELEPHANT'S EAR
	S7 DIANELLA TASMANICA 'VAREGATA' WHITE STRIPED TASMAN FLAX LILY
	S8 CLIVIA MINIATA BUSH LILY
	S9 HAKONECHLOA MACRA 'ALL GOLD' ALL GOLD JAPANESE FOREST GRASS
	S10 HELECTOTRICHON SEMPERVIRENS BLUE OAT GRASS
	S11 HEUCHERA 'BERRY TIMELESS' CORAL BELLS
	S12 LAVANDULA ANGUSTIFOLIA HIDCOTE BLUE HIDCOTE BLUE LAVENDER
	S13 LEYMUS CONDENSATUS 'CANYON PRINCE' CANYON PRINCE WILD RYE
	S14 LIRIOPE MUSCARI 'BIG BLUE' BIG BLUE LILYTURF
	S15 NANDINA DOMESTICA HEAVENLY BAMBOO
	S16 OPHIOPOGON JAPONICUS MONDO GRASS
	S17 PHILODENDRON 'XANADU' DWARF PHILODENDRON
	S18 WESTRINGIA FRUTICOSA GREY BOX DWARF COAST ROSEMARY
	S19 WOODWARDIA FIMBRIATA GIANT CHAIN FERN

### GROUNDCOVERS

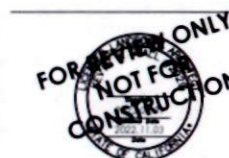
SYMBOL	NAME
	G1 WALK-ON BARK
	G2 ISOTOMA FLUVIATILIS BLUE STAR CREEPER
	G3 PELARGONIUM 'SANTA MARIA CENTENNIAL' SANTA MARIA CENTENNIAL GERANIUM

### VINES

SYMBOL	NAME
	V1 FICUS PUMILA CREEPING FIG

**PLEINAIRE**  
DESIGN GROUP

12011 Lighthouse St., Ste. 201 // Santa Maria, CA 93455  
805.449.0095 // www.pleinairedesign.com



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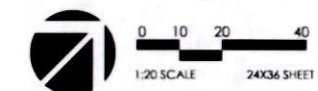
# THE LOFTS SANTA MARIA TOWN CENTER

201 TOWN CENTER EAST // SANTA MARIA, CALIFORNIA 93458

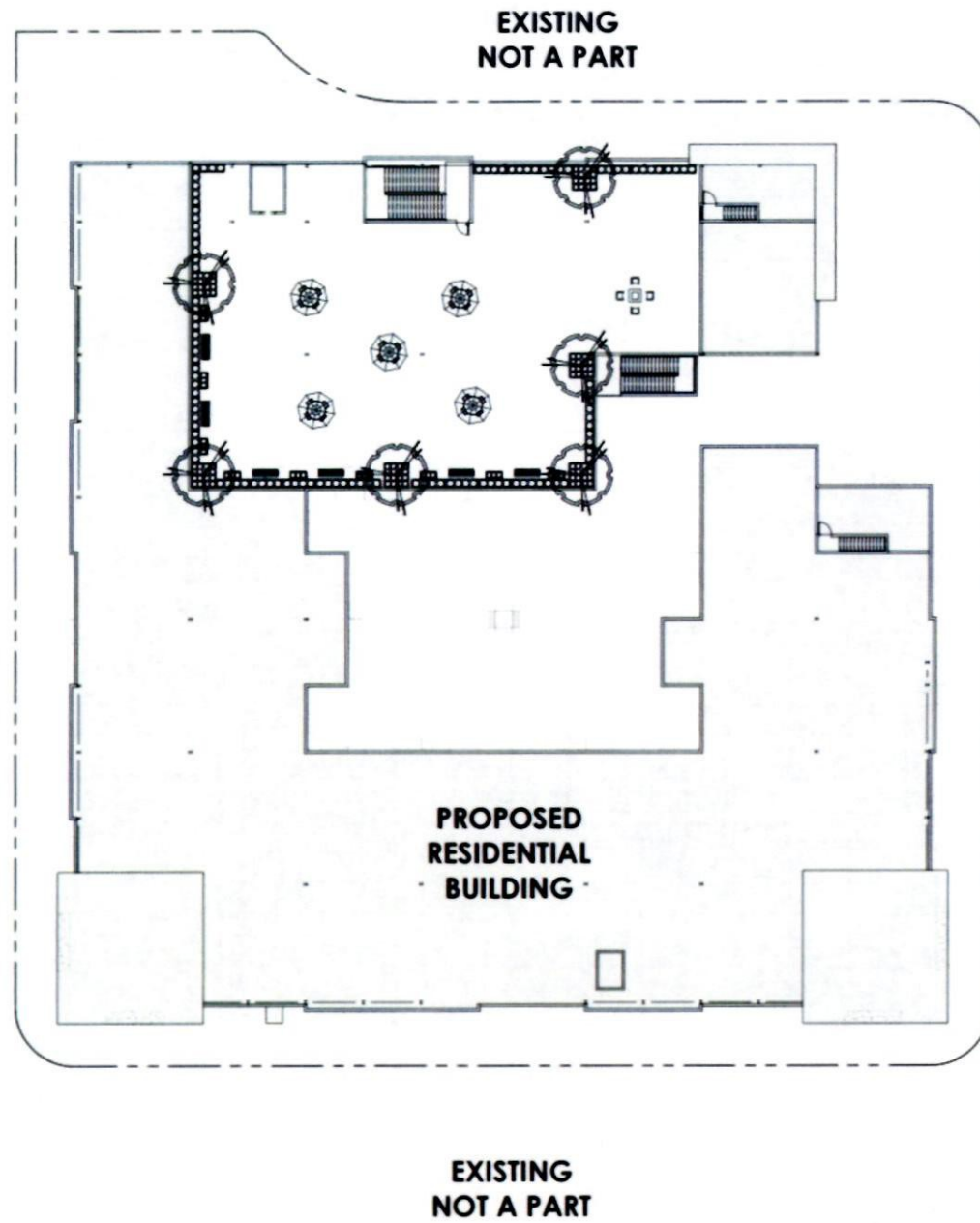
REVISION DATE

SHEET TITLE

**PLANTING  
PLAN - GROUND**







□ PLANTING PLAN - ROOF TOP

0 10 20 40  
SCALE: 1" = 20'-0" NORTH

AGAINST MAKESCAPE DAMAGE.

## PLANT LEGEND

### TREES

SYMBOL	NAME
	1 ACER PALMATUM 'BLOODGOOD' BLOODGOOD JAPANESE MAPLE
	2 ARBUTUS MENZIESII PACIFIC MADRONE
	3 LAGERSTROEMIA 'NATCHEZ' NATCHEZ HYBRID Crape MYRTLE
	4 EXISTING TREE TO REMAIN
	5 EXISTING TREE TO BE REMOVED

### SHRUBS

SYMBOL	NAME
	S1 ASPARAGUS AETHIOPICUS FOXTAIL FERN
	S2 ASPIDISTRA ELATOR CAST IRON PLANT
	S3 AUCUBA JAPONICA 'VAREGATA' VAREGATED GOLD DUST PLANT
	S4 BEGONIA x 'STERLING MOON' STERLING MOON BEGONIA
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	S8 CLIVIA MINIATA BUSH LILY
	S9 HAKONECHLOA MACRA 'ALL GOLD' ALL GOLD JAPANESE FOREST GRASS
	S10 HELICTOTRICHON SEMPERVIRENS BLUE OAT GRASS
	S11 HEUCHERA 'BERRY TIMELESS' CORAL BELLS
	S12 LAVANDULA ANGUSTIFOLIA HIDEOUT BLUE HIDEOUT BLUE LAVENDER
	S13 LEYMUS CONDENSATUS 'CANYON PRINCE' CANYON PRINCE WILD RYE
	S14 LIRIOPE MUSCARI 'BIG BLUE' BIG BLUE LILYTURF
	S15 NANDINA DOMESTICA HEAVENLY BAMBOO
	S16 OPHIOPOGON JAPONICUS MONDO GRASS
	S17 PHILODENDRON 'XANADU' DWARF PHILODENDRON
	S18 WESTRINGIA FRUTICOSA GREY BOX DWARF COAST ROSEMARY
	S19 WOODWARDIA FIMBRIATA GIANT CHAIN FERN

### GROUNDCOVERS

SYMBOL	NAME
	G1 WALK-ON BARK
	G2 ISOTOMA FLUVIATILIS BLUE STAR CREEPER
	G3 PELARGONIUM 'SANTA MARIA CENTENNIAL' SANTA MARIA CENTENNIAL GERANIUM

### VINES

SYMBOL	NAME
	V1 FICUS PUMILA CREEPING FIG

PLEINAIRE  
DESIGN GROUP

12011 Lufkinway St., Ste. 201 Santa Maria, CA 93455  
805.549.1695 / www.pleinairedesign.com

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THE LOFTS  
SANTA MARIA TOWN CENTER

201 TOWN CENTER EAST // SANTA MARIA, CALIFORNIA 93458

REVISION DATE

SHEET TITLE

PLANTING  
PLAN - ROOF TOP

0 10 20 40  
1:20 SCALE 24X36 SHEET





## CITY OF SANTA MARIA CERTIFICATE OF LANDSCAPE COMPLETION

PLANNING DIVISION • 110 SOUTH PINE STREET ROOM 301 • SANTA MARIA, CA 93458 • 805.925.0951 x 244

Project Name: \_\_\_\_\_

Project Address: \_\_\_\_\_

Building Permit Number: \_\_\_\_\_

Project/Tract Number: \_\_\_\_\_

Applicant: \_\_\_\_\_

Applicant's Address: \_\_\_\_\_

Phone No: \_\_\_\_\_ Mobile Phone No: \_\_\_\_\_

Email: \_\_\_\_\_

Property Owner: \_\_\_\_\_

Property Owner's Address: \_\_\_\_\_

Phone No: \_\_\_\_\_ Email: \_\_\_\_\_

### Property Owner Authorization:

"I/we certify that I/we have received copies of all the documents within the Landscape Documentation Package and the Certificate of Completion and that it is our responsibility to see that the project is maintained in accordance with the Landscape and Irrigation Maintenance Schedule."

Signature \_\_\_\_\_ Name (printed) \_\_\_\_\_ Date \_\_\_\_\_

### Please provide the dates the following actions occurred:

Date the Landscape Documentation Package was submitted to the Community Development Department: \_\_\_\_\_

Date the Landscape Documentation Package was approved by the Community Development Department: \_\_\_\_\_

Date that a copy of the Water Efficient Landscape Worksheet was submitted to the Community Development Department: \_\_\_\_\_

1 of 2

### CERTIFICATION OF INSTALLATION ACCORDING TO THE LANDSCAPE DOCUMENTATION PACKAGE

Signer of the landscape design plan, signer of the irrigation plan, or a licensed landscape contractor:

"I/we certify that based upon periodic site observations, the work has been completed in accordance with the ordinance and that the landscape planting and irrigation installation conform with the criteria and specifications of the approved Landscape Documentation Package."

Signature \_\_\_\_\_ Kevin J. Small \_\_\_\_\_

Title: Landscape Architect \_\_\_\_\_

License No. or Certification No. BIA 2929 \_\_\_\_\_

Company: PleinAire Design Group \_\_\_\_\_

Company Address: 3203 Lightning St., Suite 201, Santa Maria, CA 93455 \_\_\_\_\_

Phone No: (805) 349-9695 \_\_\_\_\_ Mobile Phone No: (805) 320-4420 \_\_\_\_\_

Email: kjsmall@pleinairedg.com \_\_\_\_\_

### THE FOLLOWING DOCUMENTS MUST BE ATTACHED TO THIS FORM:

#### IRRIGATION SCHEDULING

Attach parameters for setting the irrigation schedule on controller per ordinance Section 492.10.

#### SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE

Attach schedule of Landscape and Irrigation Maintenance per ordinance Section 492.11.

#### LANDSCAPE IRRIGATION AUDIT REPORT

Attach Landscape Irrigation Audit Report per ordinance Section 492.12.  
(Not Required for Prescriptive Compliance Landscape Projects)

#### SOIL MANAGEMENT REPORT

Attach soil analysis report, if not previously submitted with the Landscape Documentation Package per ordinance Section 492.6. Attach documentation verifying implementation of recommendations from soil analysis report per ordinance Section 492.6.  
(Not Required for Prescriptive Compliance Landscape Projects)

## GENERAL PLANTING NOTES

- REMOVE ALL DEBRIS, WEEDS, EXCESS MATERIAL AND ROCKS LARGER THAN 3" IN DIAMETER FROM PLANTING AREAS.
- CROSS RIP ALL TURF AND PLANTING AREAS TO A DEPTH OF 12" AND BLEND THE FOLLOWING AMENDMENT INTO THE TILLED SOIL TO A DEPTH OF 6":
  - PER 1000 SQUARE FEET:
    - 6 CUBIC YARDS NITROGEN AND IRON FORTIFIED ORGANIC SOIL AMENDMENT
    - 14 POUNDS 12-12-12 FERTILIZER
    - 15 POUNDS SOIL SULFUR
- EXCAVATE THE PLANTING PITS FOR TREES AND SHRUBS TWICE THE DIAMETER AND TWICE THE DEPTH OF THE ROOT BALL SCARIFY THE SIDES AND BOTTOM OF THE PIT. THE BACKFILL MIX FOR USE AROUND THE ROOT BALL SHALL CONSIST OF THE FOLLOWING:
  - PER CUBIC YARD OF SOIL:
    - 1/3 CUBIC YARD NITROGEN STABILIZED FIR BARK
    - 1 POUND 12-12-12 FERTILIZER
    - 1 1/2 POUNDS IRON SULFATE (20% IRON)
    - 2/3 CUBIC YARD TOPSOILPLANT TABS SHALL BE AGRIFORM OR APPROVED EQUAL USED AT MANUFACTURER'S RECOMMENDED RATE FOR EACH PLANT SIZE.
- SOIL AMENDMENT AND BACKFILL MIX ARE PROVIDED FOR BIDDING PURPOSES ONLY. THE CONTRACTOR SHALL PROVIDE FOR IN HIS BID FOR A SOIL AGRONOMY REPORT BY AN APPROVED SOIL AGRONOMIST UPON COMPLETION OF THE ROUGH GRADING. ACTUAL SOIL AMENDMENTS AND BACKFILL MIX SHALL BE AS PER SOIL AGRONOMIST'S REPORT AND RECOMMENDATIONS.
- FINE PRUNE ALL SPECIMEN TREES AFTER PLANTING UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT.
- ALL SPECIMEN TREES SHALL BE SELECTED AT THE SOURCE BY THE LANDSCAPE ARCHITECT. UPON COMPLETION, REMOVE ALL EXTRANEOUS MATERIAL AND DEBRIS, BROOM AND WASH CLEAN AREA.
- ACTUAL SYMBOLS SHALL HAVE PRIORITY OVER WRITTEN QUANTITIES. CONTRACTOR SHALL VERIFY QUANTITIES AND NOTIFY LANDSCAPE ARCHITECT OF DISCREPANCIES.
- ALL PLANT MATERIAL, COLOR, SIZE AND QUANTITIES ARE TO BE VERIFIED WITH OWNER.
- ALL SUBSTITUTIONS SHALL BE APPROVED BY LANDSCAPE ARCHITECT AND OWNER, PRIOR TO INSTALLATION.
- ALL FLOW LINES ESTABLISHED BY GRADING PLAN SHALL BE MAINTAINED BY FINISH GRADING. MAINTAIN 1.5% MINIMUM FLOW IN ALL PLANTER AREAS.

## PLANTING LEGEND NOTES

- ALL TREES ARE TO BE STAKED PER DETAIL A.B/L-3.3
- ANY TREE PLANTED CLOSER THAN 4' TO ANY HARDSCAPE SHALL HAVE A LINEAR ROOT BARRIER INSTALLED PER DETAIL B/L-3.3
- ALL SHRUBS AND GROUNDCOVERS ARE TO BE PLANTED PER C.D/L-3.3.
- ALL VINES ARE TO BE PLANTED PER DETAIL C/L-3.3, AND ATTACHED TO WALL PER DETAIL E/L-3.3.
- CONTRACTOR IS TO PROVIDE AN AUTOMATIC IRRIGATION SYSTEM WITH 100% COVERAGE AND SEPARATE SUN/SHADE AND TURF/GROUNDCOVER SYSTEMS. REFER TO IRRIGATION PLANS FOR SPECIFICS OF INSTALLATIONS.
- CONTRACTOR SHALL NOT DETOUR FROM ANY OF THE PLANT MATERIAL ON THE LIST UNLESS CONSULTING WITH THE LANDSCAPE ARCHITECT FIRST.
- CONTRACTOR SHALL INSTALL HEADER AT THE EDGE OF ALL TURF TO SHRUB AREAS. SEE DETAILS FOR MATERIAL.
- ALL LANDSCAPE AREAS SHALL RECEIVE A 3" LAYER OF MEDIUM SIZED FIR MULCH 1/2" TO 1" IN DIAMETER. TOP SURFACE OF MULCH SHALL BE A MINIMUM OF 1" BELOW ANY ADJACENT HARDSCAPE, "GORILLA HAIR" OR POST CONSTRUCTION WASTE WILL NOT BE ACCEPTED.
- ALL SLOPE AREAS 3:1 OR GREATER SHALL HAVE JUTE NETTING OR EQUIVALENT SLOPE STABILIZATION MATERIAL APPLIED ON TOP OF ANY APPLIED MULCH.
- ALL PLANT MATERIAL, COLOR, SIZE AND QUANTITIES ARE TO BE VERIFIED WITH OWNER.
- ALL CITY STREET TREES TO BE 24" BOX, HAVE A CALIPER AT SOIL LEVEL OF 1.5 INCHES, AND BE ABOUT 6 FEET TALL ONCE PLANTED.

## PLANT LEGEND

### TREES

SYMBOL	NAME	COMMENTS	SIZE	WUCOLS	QTY.
	11 ACER PALMATUM 'BLOODGOOD' BLOODGOOD JAPANESE MAPLE	PLANT PER DETAIL A.B/L-3.3	24" BOX	LOW	6
	12 ARBUTUS MENZIESII PACIFIC MADRONE	PLANT PER DETAIL A.B/L-3.3	24" BOX	LOW	6
	13 LAGERSTROEMIA 'NATCHEZ' NATCHEZ HYBRID CRAPE MYRTLE	PLANT PER DETAIL A.B/L-3.3	24" BOX	MED	8
	14 EXISTING TREE TO REMAIN	REFER TO L-3.4			14
	15 EXISTING TREE TO BE REMOVED	REFER TO L-3.4			18

### SHRUBS

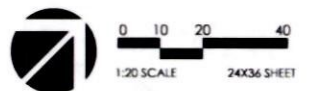
SYMBOL	NAME	COMMENTS	SIZE	WUCOLS	QTY.
	51 ASPARAGUS AETHIOPICUS FOXTAIL FERN	PLANT PER DETAIL C/L-3.3	5 GAL.	LOW	33
	52 ASPIDISTRA ELATIOR CAST IRON PLANT	PLANT PER DETAIL C/L-3.3	5 GAL.	LOW	33
	53 AUCUBA JAPONICA 'VAREGATA' VAREGATED GOLD DUST PLANT	PLANT PER DETAIL C/L-3.3	5 GAL.	LOW	22
	54 BEGONIA x 'STERLING MOON' STERLING MOON BEGONIA	PLANT PER DETAIL C/L-3.3	5 GAL.	LOW	10
	55 CAREX DIVULSA BERKELEY SEDGE	PLANT PER DETAIL C/L-3.3	5 GAL.	LOW	95
	56 COLOCASIA ESCULENTA 'BLACK MAGIC' BLACK MAGIC ELEPHANT'S EAR	PLANT PER DETAIL C/L-3.3	15 GAL.	MED	1
	57 DIANELLA TASMANICA 'VAREGATA' WHITE STRIPED TASMAN FLAX LILY	PLANT PER DETAIL C/L-3.3	5 GAL.	LOW	54
	58 CLIVIA MINIATA BUSH LILY	PLANT PER DETAIL C/L-3.3	5 GAL.	LOW	32
	59 HAKONECHLOA MACRA 'ALL GOLD' ALL GOLD JAPANESE FOREST GRASS	PLANT PER DETAIL C/L-3.3	5 GAL.	LOW	55
	60 HELICTOTRICHON SEMPERVIRENS BLUE OAT GRASS	PLANT PER DETAIL C/L-3.3	5 GAL.	LOW	36
	61 HEUCHERA 'BERRY TIMELESS' CORAL BELLS	PLANT PER DETAIL C/L-3.3	5 GAL.	LOW	9
	62 LAVANDULA ANGUSTIFOLIA HIDEOUT BLUE HIDEOUT BLUE LAVENDER	PLANT PER DETAIL C/L-3.3	5 GAL.	LOW	28
	63 LEYMUS CONDENSATUS 'CANYON PRINCE' CANYON PRINCE WILD RYE	PLANT PER DETAIL C/L-3.3	5 GAL.	LOW	21
	64 LIRIOPE MUSCARI 'BIG BLUE' BIG BLUE LILYTURF	PLANT PER DETAIL C/L-3.3	1 GAL.	MED	128
	65 NANDINA DOMESTICA HEAVENLY BAMBOO	PLANT PER DETAIL C/L-3.3	5 GAL.	LOW	13
	66 OPHIOPOGON JAPONICUS MONDO GRASS	PLANT PER DETAIL C/L-3.3	1 GAL.	MED	215
	67 PHILODENDRON 'XANADU' DWARF PHILODENDRON	PLANT PER DETAIL C/L-3.3	5 GAL.	LOW	16
	68 WESTRINGIA FRUTICOSA GREY BOX DWARF COAST ROSEMARY	PLANT PER DETAIL C/L-3.3	5 GAL.	LOW	13
	69 WOODWARDIA FIMBRIATA GIANT CHAIN FERN	PLANT PER DETAIL C/L-3.3	5 GAL.	LOW	23

### GROUNDCOVERS

SYMBOL	NAME	COMMENTS	SIZE	WUCOLS	QTY.
	70 WALK-ON BARK	TBD BY OWNER	TBD	N/A	117 S.F.
	71 ISOTOMA FLUVIATILIS BLUE STAR CREEPER	PLANT PER DETAIL C.D/L-3.3 12" O.C.	FLATS (16)	LOW	88
	72 PELARGONIUM 'SANTA MARIA CENTENNIAL' SANTA MARIA CENTENNIAL GERANIUM	PLANT PER DETAIL C.D/L-3.3 36" O.C.	1 GAL.	LOW	230

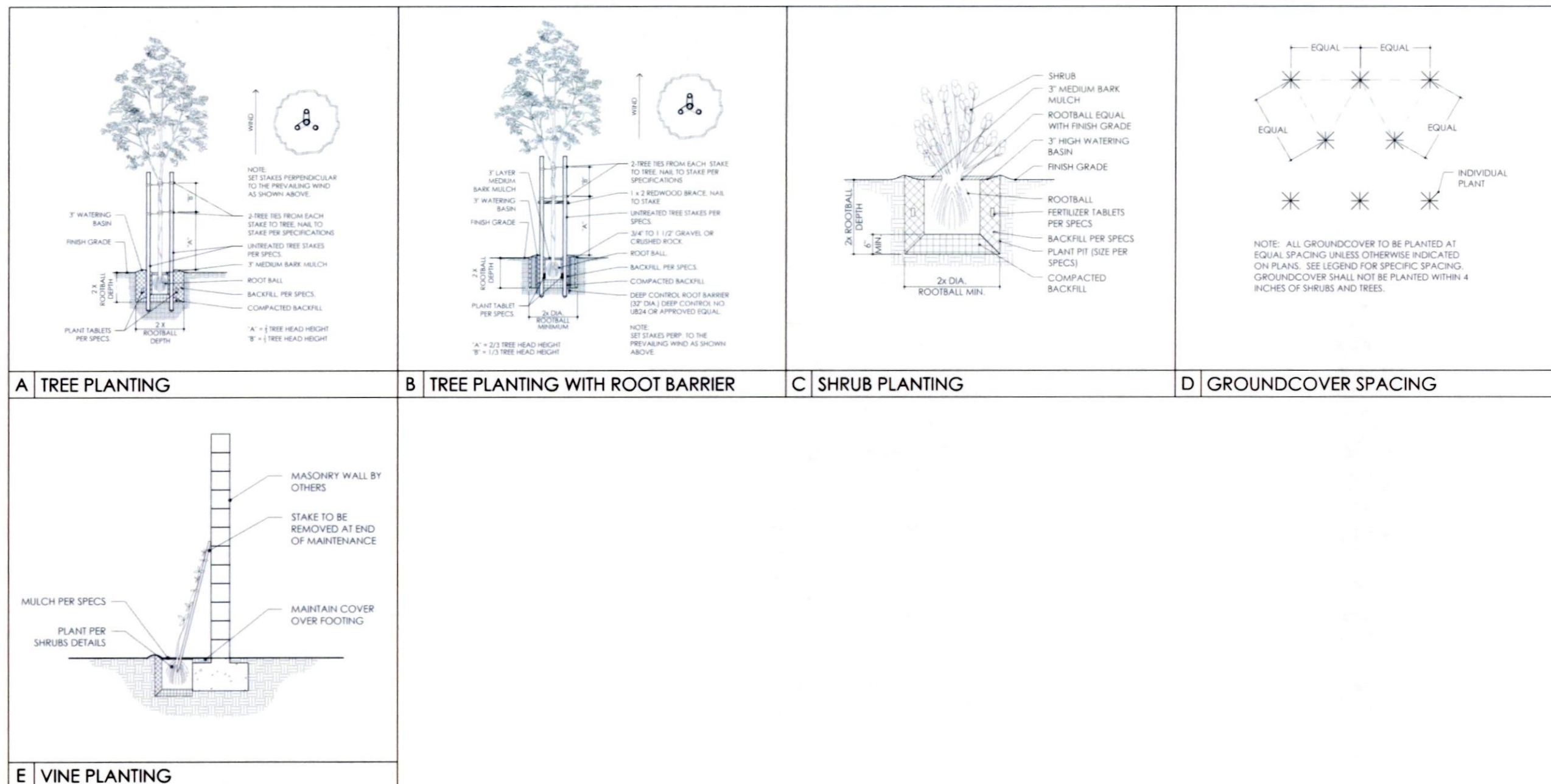
### VINES

SYMBOL	NAME	COMMENTS	SIZE	WUCOLS	QTY.
	73 FICUS PUMILA CREEPING FIG	PLANT PER DETAIL C.E/L-3.3	5 GAL.	MED	3





Construction\Lofts - Pallas\Landscape\Construction\PIR.dwg



PLEINAIRE  
DESIGN GROUP

3203 Lightening St., Ste. 201 // Santa Maria, CA 93455  
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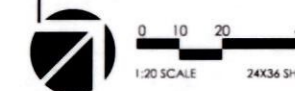
THE LOFTS  
SANTA MARIA TOWN CENTER

201 TOWN CENTER EAST // SANTA MARIA, CALIFORNIA 93458

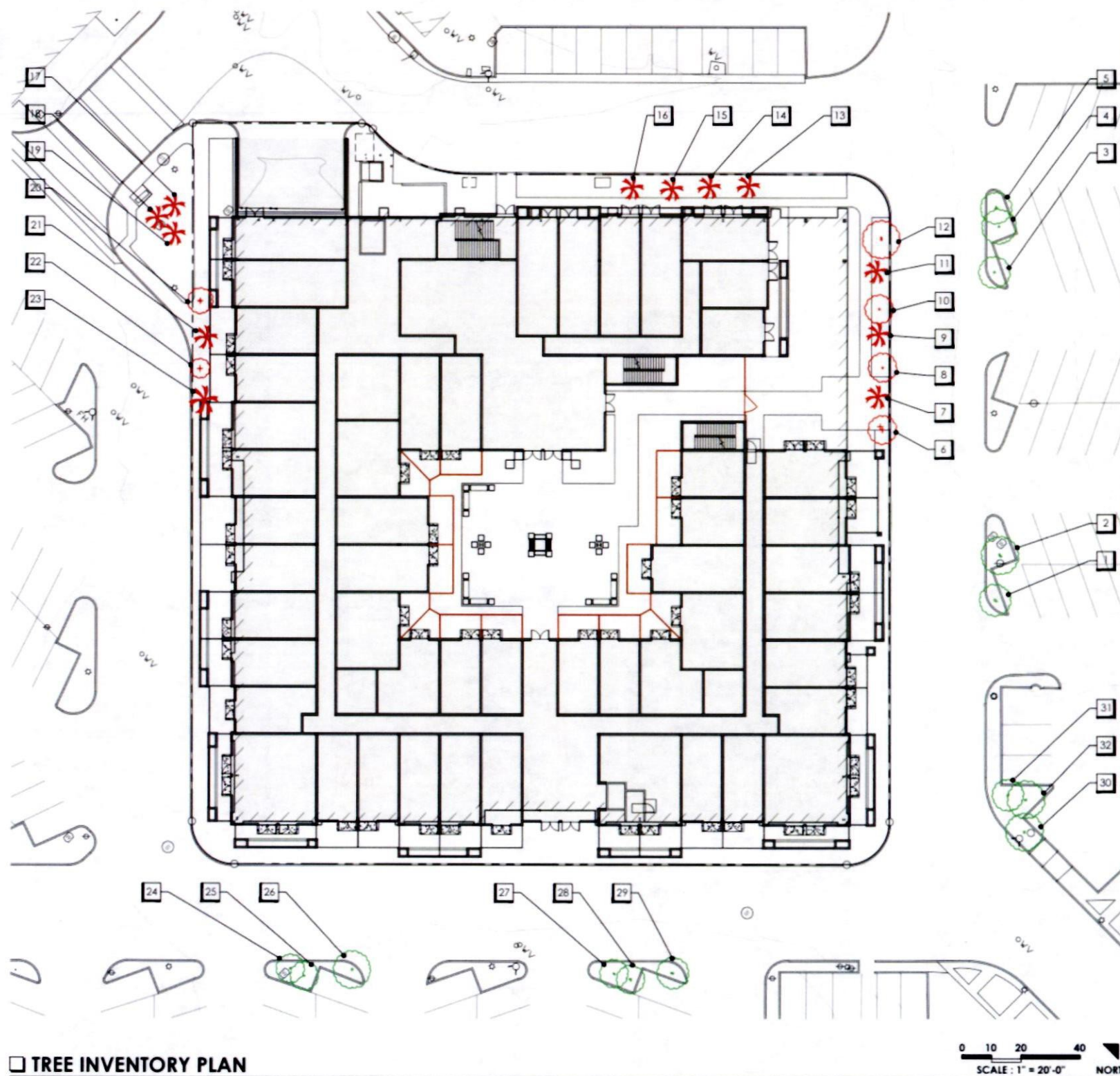
REVISION DATE

SHEET TITLE

PLANTING  
DETAILS







**TREE SURVEY**

Client: The Lofts  
201 Town Center East  
Santa Maria, CA 93458

Date: 28-08-22

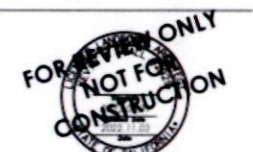
Tree #	Species	Common Name	DBH	Canopy	Disposition	Notes
1	Eriobotrya deflexa	Bronze Liqueur	9	10	1	Multi-Trunk DBH: 5" & 9"
2	Eriobotrya deflexa	Bronze Liqueur	6	12	1	Multi-Trunk DBH: 5", 6" & 6"
3	Eriobotrya deflexa	Bronze Liqueur	7	10	1	
4	Eriobotrya deflexa	Bronze Liqueur	6	11	1	
5	Eriobotrya deflexa	Bronze Liqueur	4	10	1	Multi-Trunk DBH: (4) at 4"
6	Podocarpus gracillior	African Fern Palm	7	9	2	
7	Washingtonia robusta	Mexican Fan Palm	12	9	2	
8	Podocarpus gracillior	African Fern Palm	7	9	2	
9	Washingtonia robusta	Mexican Fan Palm	12	9	2	
10	Podocarpus gracillior	African Fern Palm	7	9	2	
11	Washingtonia robusta	Mexican Fan Palm	14	9	2	
12	Eriobotrya deflexa	Bronze Liqueur	7	12	2	Multi-Trunk DBH: 5" & 7"
13	Washingtonia robusta	Mexican Fan Palm	16	2	2	
14	Washingtonia robusta	Mexican Fan Palm	16	2	2	
15	Washingtonia robusta	Mexican Fan Palm	16	2	2	
16	Washingtonia robusta	Mexican Fan Palm	14	2	2	
17	Washingtonia robusta	Mexican Fan Palm	18	2	2	
18	Washingtonia robusta	Mexican Fan Palm	14	2	2	
19	Washingtonia robusta	Mexican Fan Palm	16	2	2	
20	Eriobotrya deflexa	Bronze Liqueur	9	8	2	
21	Washingtonia robusta	Mexican Fan Palm	12	2	2	
22	Eriobotrya deflexa	Bronze Liqueur	5	6	2	
23	Washingtonia robusta	Mexican Fan Palm	17	2	2	
24	Eriobotrya deflexa	Bronze Liqueur	6	9	1	
25	Eriobotrya deflexa	Bronze Liqueur	6	9	1	
26	Eriobotrya deflexa	Bronze Liqueur	8	12	1	
27	Eriobotrya deflexa	Bronze Liqueur	5	9	1	Multi-Trunk DBH: 4" & 5"
28	Eriobotrya deflexa	Bronze Liqueur	6	9	1	Multi-Trunk DBH: 5", 5" & 6"
29	Eriobotrya deflexa	Bronze Liqueur	7	10	1	Multi-Trunk DBH: 6" & 7"
30	Eriobotrya deflexa	Bronze Liqueur	8	12	1	
31	Eriobotrya deflexa	Bronze Liqueur	6	10	1	Multi-Trunk DBH: 5" & 6"
32	Eriobotrya deflexa	Bronze Liqueur	6	12	1	Multi-Trunk DBH: 5" & 6"

# TREE INVENTORY LEGEND

SYMBOL	NAME
	EXISTING TREE CANOPY
	EXISTING TREE CANOPY TO BE REMOVED

**PLEINAIRE**  
DESIGN GROUP

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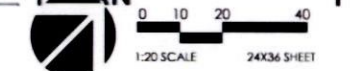
## THE LOFTS SANTA MARIA TOWN CENTER

201 TOWN CENTER EAST // SANTA MARIA, CALIFORNIA 93458

REVISION DATE

SHEET TITLE

**TREE INVENTORY PLAN**







Natchez Crape Myrtle



Western Redbud



Grey Box



Philodendron Xanadu



Big Blue Lilyturf



Hidcote Lavender



Black Magic Elephant Ear



Heavenly Bamboo



Golden Leaf Plant



Japanese Forest Grass



Giant Chain Fern



Foxtail Fern



Coral Bells



Flame Lily



Cast Iron Plant



Bergonia



Blue Oat Grass



Berkeley Sedge



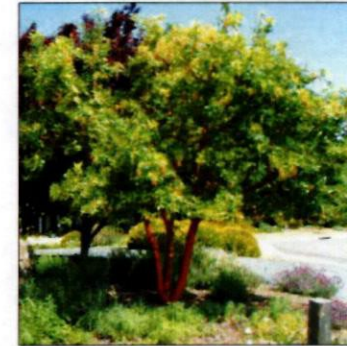
Mondo Grass



Myoporum



Blue Star Creeper



Madrone

**NOTE:**  
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FINAL SELECTIONS MAY VARY. SEE CONCEPTUAL  
PLANTING LEGEND FOR MORE INFORMATION.

# PLEINAIRE DESIGN GROUP

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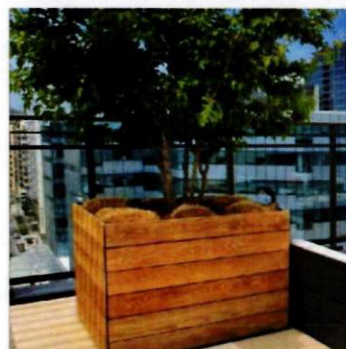
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## THE LOFTS SANTA MARIA TOWN CENTER

201 TOWN CENTER EAST // SANTA MARIA, CALIFORNIA 93458

SHEET TITLE





Wood Planter (Square)



Wood Planter



Bench

**NOTE:**  
AMENITY IMAGERY SHOWN IS REPRESENTATIVE ONLY.  
FINAL SELECTIONS MAY VARY.



Portable Fire Pit



Table & Chair

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## THE LOFTS SANTA MARIA TOWN CENTER

201 TOWN CENTER EAST // SANTA MARIA, CALIFORNIA 93458



## CITY OF SANTA MARIA DOWNTOWN PERMIT

PLANNING DIVISION • 110 SOUTH PINE STREET ROOM 101 • SANTA MARIA, CA 93458 • 805.925.0951 X 2244

**PERMIT NO.** DT2022 – 0018

**APPROVAL DATE** March 7, 2023

**PROJECT NAME** Heritage Walk Lofts

**APPLICANT/OWNER** The Vernon Group

**ADDRESS/LOCATION** 201 Town Center West

**DESCRIPTION** Downtown Permit (DT2022-0018) for The Vernon Group to convert an existing 85,900-square-foot structure to a two-story 102-unit residential use on a 1.3-acre site in the Town Center District of the Downtown Specific Plan

### FINDINGS

The City Council hereby approves the following project in accordance with the application submitted and hereby makes the required findings in accordance with the Downtown Specific Plan, including the following:

- A. The project meets the vision and intent of the Downtown Plan and the Town Center District in which it is located by providing:
1. A renovated pedestrian-oriented residential building with clearly defined building entrances that are easily accessible from public transit stops.
  2. A multi-storied building design that incorporates 360-degree architecture with articulation and detailing on all building facades including massing, roof forms, wall planes, and friendly, human scale features such as first and second floor private patios that soften the building exterior and provide an attractive street frontage.
  3. A variety of soft landscaping throughout the building exterior, interior courtyard and rooftop deck in the form of planted landscape areas, planter boxes, foundation planting and canopy trees. The courtyard and roof deck provide seating and interactive features for the residents such as patio tables, benches, and portable fire pits.

- B. That the site for the proposed project is adequate in size to accommodate the project because the project is a reuse of an existing 85,900-square-foot building with enough square footage, land area, and parking to accommodate the proposed residential use, and no expansion to the site layout is proposed.
- C. The project will not have adverse effects on abutting properties, since the building setbacks are consistent with adjacent development and the residential use will add to the mix of downtown land uses envisioned by the Downtown Specific Plan, and help support the office, retail, and restaurant uses in the area. There are a total of 679 parking spaces total within the parking areas on the northeast, southeast, and southwest sides of the building, the project includes and is conditioned to provide secure bicycle parking facilities on site and a condition of approval requires the applicant to provide improvements to the transit stop on Broadway, therefore, as conditioned by this downtown permit, the project will have no adverse parking effects on abutting properties.
- D. The project will not be detrimental to the health, safety, or public welfare of persons residing or working in the vicinity of the project, injurious to property or improvements in the vicinity of the project, or its orderly development because the characteristics of a residential use will not produce impacts of a scale or intensity that could cause negative impacts, the site and project layout has been designed to meet safety requirements including visibility at intersections and Emergency access, and the development of the project is subject to Building, Fire, and other applicable Codes.
- E. The intensity of the project and/or the intensity of the structure(s) is not detrimental to the public welfare, adjoining properties, and the orderly development of the area because the size, scale and aesthetics of the building is consistent with the Downtown Specific Plan.
- F. The project adheres to all applicable Special Downtown Permit findings which include:
  - 1. The project will have an inviting, pedestrian-friendly entrance from the street with large storefront windows. Large operable windows on both the first and second floors are provided. Building entries are provided with large arches or through an open, street-oriented courtyard.
  - 2. The project will have clear, well-designed signage in keeping with the style of the building. Signage will be limited to main building entries and will reflect the vernacular of the overall architectural theme.
  - 3. The project will have abundant landscaping in the form of raised planter boxes, street trees, and in-ground landscape planters with irrigation. The project design provides approximately 9,947 square feet of planted landscape area and planters on-site and on the rooftop deck, equating to approximately 17.7 percent of the site, thereby exceeding the minimum 15% required landscape area.



4. The project will be a newly painted building with a cohesive color theme and architectural style. The color and materials shown in the plans are consistent with the contemporary Spanish-missionary vernacular.
  5. The project will have pedestrian amenities for residents including outdoor seating, benches and bicycle storage rooms.
  6. The project adheres to the Design Guidelines and Development Standards of the Downtown Plan to the maximum extent possible. The building utilizes significant changes in massing and wall planes. Human scale has been created through use of awnings arches and other architectural elements. The building has its own identify by incorporating contemporary architectural elements, but through references to the Spanish-missionary style, integrates with the adjacent town center buildings as well as the historical church and City buildings.
  7. The project has incorporated two or more architectural features in keeping with the architectural style of the building, including: new roofing, awnings/overhangs, arched entryways, thematic outdoor lighting, window moldings, a rooftop deck, and incorporation of a central core open-air common area oriented to direct pedestrian flow to Heritage Walk and Lincoln Street.
- G. The project qualifies for incentives established by the Downtown Specific Plan because the project substantially meets all Special Downtown Permit Findings.
- H. This is a Class 32 (In-fill Development Project) categorical exemption based on Section 15332 of the State CEQA Guidelines. The project would not result in significant effects to water quality, air quality, traffic, or noise. No further environmental review is required.

## CONDITIONS OF APPROVAL

The project is approved subject to the following Conditions of Approval:

### Community Development Department

1. Project Description. The permittee shall comply with the project description, plan set entitled The Lofts at Town Center consisting of 21 pages dated November 4, 2022, and Conditions of Approval of this permit. Any changes from the project description, Plan Set, or conditions may require a permit amendment. Contact the Planning Division prior to changing anything described on the Plan Set or in the project description.
2. Color and Materials. A sample of all paint colors and materials to be used on the project site shall be submitted to the Planning Division for review for consistency with City Council approval prior to issuance of building permits. Paint colors shall be provided in the form of paint chips.

3. Building Architecture. The building shall be constructed in substantial conformance to the approved plan set and shall maintain a high-quality level in building materials, design, and enhancements. The following architectural elements and features shall be incorporated:
  - a. The exterior wall finish shall be a smooth stucco finish.
  - b. Exposed wood joists at all tower roof eaves.
  - c. All architectural elements which project over the building roof line shall wrap back to an appropriate depth appropriate to the scale of the building, subject to the approval of the Planning Division. The architectural elements shall be finished with the same building material and cornice/trim features on all sides.
4. Parking. 97 parking spaces are provided in the adjacent City-owned parking lots, subject to a contractual agreement with the City.
  - a. Phased Parking Plan. Project residents shall be encouraged to temporarily utilize the parking area to the northeast of the project building until such time as the northeast parking area (also referred to as "Lot 1") is redeveloped. Once redevelopment of the northeast parking area is underway, residents may utilize the parking area to the southeast of the project building or as otherwise authorized by contract with the City.
  - b. Parking Area Maintenance. A parking area maintenance agreement with the City of Santa Maria shall be signed and notarized prior to issuance of building permits. The off-street parking area and access shall be paved and double striped in accordance with City parking standards. The parking area shall be maintained and regularly resealed and restriped. Please note that a building permit is required for restriping. The striping shall be visible at all times and the parking area shall be void of potholes and depressions.
  - c. Parking Monitoring. The property owner shall monitor and document the number of vehicles per unit for the project. If parking issues arise that impact the existing church or medical clinic parking availability surrounding the project site, the property owner shall regulate vehicle allowances of the residents to reduce parking conflicts.
  - d. Parking Permits. At such time that the City develops a parking permit for city owned and controlled parking lots, the property owner may apply with the City for parking permits. The type and amount of parking permits shall be decided at such time.
5. Incentives. The incentives available for this project are based on how much the project conforms to the design guidelines and standards of the Downtown Specific Plan. The incentives available are:
  - a. Reduced Building Permit fees up to 50%, but not including costs for third-party Building Permit plan check review;

- b. Authorization for future Downtown Permits onsite to be administrative when otherwise a hearing would be required at the discretion of the Zoning Administrator, such as use of the existing space for temporary retail for a set duration prior to development of the lofts;
  - c. Payment of growth mitigation fees over a 10-year period without interest payments, based on Section 8-15.06(f) of the Santa Maria Municipal Code;
  - d. Reduced Subdivision In Lieu fees (2016 fee rates);
  - e. Contractual use of City-owned parking facilities for the benefit of the project.
6. Laundry Facilities. Common Laundry facilities shall be provided on every residential floor for use by all tenants, or washer and dryer hook ups shall be provided in each residential unit.
7. Bike Racks/Storage. Bike racks and/or storage shall be installed, and 40 long term bike parking spaces are provided. The location, design and number shall be approved by the Planning Division during the building permit review process.
8. Trash Enclosure. Each trash receptacle shall be stored in an enclosure. The final development plan submitted for the building permit shall specify size and location of all trash collection areas and the enclosure shall be constructed in accordance with the approved plan. The location and design shall be approved by the Community Development Department and the Public Works Department. The trash enclosure shall meet City Standards as well as be designed in keeping with the architecture and style of the project.
- Trash areas that are located adjacent to parking spaces shall be set back a minimum of ten feet to provide sight distance for automobiles backing out of the parking space.
9. Ongoing Site Maintenance. The entire site shall be permanently maintained free of accumulated dirt and litter and in an otherwise neat and attractive manner and adhere to the requirements of the Santa Maria Municipal Code. Any graffiti on the property shall be promptly painted out. All landscaping areas on the property shall be permanently maintained with healthy, growing plant material, free from weeds. Dead or dying plant material shall be replaced within one month of plant deterioration.
- Failure to comply with this condition is a public nuisance and is subject to the adopted Citation Ordinance of the City of Santa Maria.
10. Landscape Plan. A Landscape Plan, which includes the size and species of plants, a layout of the irrigation system incorporating time clocks and/or moisture sensors, and a maintenance and watering schedule, shall be submitted to the Community Development Department for plan checking and approval. The specific planting design of the landscape area and species of trees and plants shall be subject to approval of the Planning Division during the plan check review process. The landscape plan shall be prepared in accordance with Chapter 12-44 of the Municipal

Code, Landscape Standards. Backflow prevention devices shall be screened with plant material and located to maximize aesthetics. The plan will contribute to the Downtown Plan's goal of creating an aesthetically pleasing and drought tolerant streetscape.

11. Landscape and Tree Maintenance. The applicant shall develop landscape and tree maintenance standards that shall be provided to any landscape contractor hired to work on the site. The standards shall be reviewed and approved by the Planning Division prior to first occupancy. The program shall require:
  - a. All on-site trees be properly maintained to retain a natural shape and size for the long-term health of the tree consistent with the natural growth pattern of its particular species and current ANSI A300 standards.
  - b. Any tree topped, severely pruned or severely thinned out, subject to the determination of the Planning Division, shall require a large-size replacement.
  - c. Ground cover and shrubbery shall be regularly maintained and pruned in a manner that encourages healthy growth and flower production. Shrubs shall not be severely sheered or formed into unnatural shapes.
12. Tree Planting. The project shall provide the trees depicted on the landscape plan. The trees species selected shall be subject to Planning Staff review according to City Council approval. Trees shall be a minimum of 15-gallon size.
13. Landscape Irrigation Water Meter. A separate appropriately-sized irrigation meter is required for new non-residential projects with irrigated landscape areas totaling 1,000 square feet or greater, and for new residential projects with irrigated landscape areas totaling 5,000 square feet or greater. If a sub-meter is proposed for irrigation, it shall be a privately held and maintained meter, provided by the applicant, installed after the main water meter.
14. Light Standards. All on-site lighting shall comply with the Municipal Code Performance Standards. A photometric plan is required at the building permit stage, subject to Planning Division approval.
15. Utilities. All new public utility services, including electrical, telephone and community television antenna services, shall be placed underground in accordance with City requirements. Location of all transformer boxes and utility equipment shall be approved by the Planning Division prior to installation. All transformer boxes and utility equipment shall be underground wherever feasible. If undergrounding is not possible, the equipment should be painted to match the surroundings and placed in inconspicuous areas out of public view.
16. Mechanical Equipment. Mechanical equipment located on the roof of a building shall be completely screened. The height of the screening shall be as high, or higher, than the top of the mechanical equipment. The screening may be provided by an architecturally designed screen wall of solid material surrounding the

equipment, or by the building wall parapet.

17. Performance Standards. The requirements of the City's performance standards with respect to odor, noise, smoke, vibration and discharge of liquid and solid waste shall be maintained.
18. AB 1600 Fees. AB 1600 fees apply to this project and are based on the fees in effect at the time the building permit is issued.
19. Indemnification. The applicant shall agree to indemnify, defend (with counsel reasonably approved by the City), and hold harmless the City of Santa Maria and its officers, officials, employees, and agents from and against any and all claims, demands, actions, proceedings, lawsuits, losses, damages, judgments and/or liabilities by third parties arising out of, related to, or in connection with the project application or to attack, set aside, void, or annul, in whole or in part, an approval of the project application by the City and any related environmental approvals, development approvals or project conditions. The Applicant shall reimburse the City, its agents, officers, officials, or employees, for any court costs and attorney's fees that the City, its agents, officers, officials, or employees may be required by a court to pay as a result of such action. The City may, at its sole discretion, participate at its own expense in the defense of any such action but such participation shall not relieve Applicant of his/her obligations under this provision.
20. Agency Requirements. The applicant shall ascertain and comply with all Federal, State, County and City requirements as are applicable to this project.
21. Construction Documents. A copy of these conditions shall be incorporated into all construction documents.
22. Tenant Improvements. Modifications to the building require building permits. Contact the Building Division to determine if building permits are required. A pre-plancheck conference may be scheduled with a plancheck engineer before submitting building plans for plancheck. The applicant and/or architect may contact the Building Division to schedule a time and date.
23. Minor Modifications. Minor modifications to the site and exterior of the building may be done with administrative amendments to this Downtown Permit.
24. Signs. Signs for the property, including temporary signs, must meet the requirements of the City Sign Code, and a sign permit is required.
25. Business License. A City business license is required for a leasing office.

#### **Fire Department**

26. Installation Requirements. When submitting plans for construction the design and installation shall be in accordance with the California Fire and Santa Maria Municipal Codes.

## **Public Works Department**

### **ENGINEERING**

27. Public Improvement Plans: PIPs shall be reviewed and approved by the City Engineer prior to building permit issuance. The PIPs shall include the following:

**A. Plan and profile drawings for all surface and underground improvements**

- a. Sewer upgrades and/or new sewer infrastructure may be required for this project. These shall be reflected in the submitted Public Improvement Plans.
- b. On Broadway (SR-135) a Bus Rapid Transit (BRT) turnout will need to be constructed to replace the existing bus turnout/stop. Install modified City Standard Detail RD-26, -27A and -28 bus turnout. Main modifications to turnout design include:
  - i. Bus pad shall be 9" Class A PCC Pavement over 12" Class II Aggregate Base, compacted to 95%.
  - ii. Platform shall be 16" high, measured from bus pad. This will require building ramps on either side of the turnout platform that meet ADA requirements.
  - iii. Curb of platform shall have rubber curb to facilitate bus docking and minimize potential damage to buses.
  - iv. Platform shall be 185 feet long, measured along platform edge parallel to vehicular traffic, to accommodate two 40' buses. Along platform length, a 2-foot-wide detectable warning strip shall be installed.
  - v. Railing along platform should be implemented to prevent falls.
  - vi. Station platform shall be at least 12-feet wide, which includes the BRT shelter and curb-adjacent loading area.
  - vii. Bus shelter
    1. Tolar 16' Sunset Shelter with Polycarbonate Flat Roof in aluminum color, without walls and accompanying Bench w/ seat delineators
    2. ADA wheelchair area marked (painted onto the ground between the gap of the bench and end of shelter)
    3. Urban Solar RMS solar lighting package
    4. Wayside LED shelter display
    5. Papercast 13" e-paper display
    6. PV Stop Max bus stop pole lighting system
    7. Bike Loop

**B. Traffic signing and striping plans for all streets.**

- C. Landscaping and irrigation plans for any area of public right-of-way where landscaping is required (such as medians) or where landscaping is to be maintained as part of a city landscape maintenance district.

The Engineer shall submit four (4) copies of the landscaping and irrigation plans to the Public Works Department for review. All public improvements shall be constructed according to City and State standards. Plan check and inspection fees per City Council Resolution 2005-101 will apply. The developer shall submit a cost estimate completed by a registered civil engineer for the proposed public improvements and make a monetary deposit with the City. The form of security shall be subject to the approval of the City Attorney.

- 28. Building Plans: At time of building plan submittal, the developer shall identify the following items on the site or utility plan for the subject project:
  - A. Location and sizes of all proposed and existing water mains, sewer mains, water meters, water service lines, backflow prevention devices, private sewer lateral connections, and storm drainage facilities in abutting streets or on the project site.
  - B. Location, quantity, and orientation of trash enclosures
  - C. All parcel lines and easements crossing the project site.
  - D. Locations and dimensions of all existing and proposed driveways and sidewalks
  - E. Location of existing and proposed fire hydrants
  - F. Required public improvements.
  - G. Limits of frontage improvements

#### FEES

- 29. Utilities Connection Fees: For all development projects already connected to the utility system, the water and wastewater fees shall be based **solely on an increase in water meter size or a change in use** and shall be calculated and collected prior to installation of the larger meter or making a change in use. The State Water Reimbursement Fee shall be collected concurrently with the Growth Mitigation Fee. The following fees are to be paid by the applicant and will be collected at time of request for connection at the Building Division, 110 South Pine Street, Suite 101.
  - A. Water Mitigation Fee: The fee is calculated based on the size of water meters (domestic, landscape, fire) serving the site. The fee shall be based upon the codes and rates in effect at the time of building permit issuance (Santa Maria Municipal Code (S.M.M.C.) Sections 8-15.01 through 8-15.15 and 8-15.19).
  - B. Wastewater Mitigation Fee: The fee is calculated based on the size of water meters (domestic) serving the site. The fee shall be based on the codes and rates in effect at the time of building permit issuance (S.M.M.C. Sections 8-15.01 through 8-15.15 and 8-15.20).

C. State Water Reimbursement Fee: The fee is calculated based on the size of water meters (domestic, landscape, fire) serving the site. The fee shall be based on the codes and rates in effect at the time of building permit issuance (S.M.M.C. Section 8-10.05.01).

30. Traffic Mitigation Fee: The traffic mitigation fee shall be paid by the applicant at time of occupancy. The fee is based on the size and proposed use of the project. The final fee calculation is based on the fee schedule in effect at the time of building permit issuance (S.M.M.C. Sections 8-15).

Except as provided in the Downtown Specific Plan, the City Council may consider allowing qualifying commercial and industrial development the ability to pay growth mitigation fees as outlined in the current fee schedule over a period of time. The maximum amount of time for payback shall be five (5) years. The payments shall be made yearly, and interest shall be paid. Interest calculations shall be based on the average annual interest rate for the Local Agency Investment Fund. Qualifying companies who wish to pursue this option shall sign an agreement, in a form approved by the City Attorney, and shall provide financial security guaranteeing payment.

#### STREET AND FRONTAGE

31. ADA Compliance: Curb ramps on Broadway (SR-135) located directly east of this building shall be reconstructed to comply with ADA requirements. Additionally, any ramps in the paths of travel from these ramps to the project building, and ramps along the perimeter of the building shall be similarly reconstructed to comply with ADA requirements.
32. Frontage Repair: The developer shall repair any cracked or broken curb, gutter, or sidewalk, within the project frontage. City Public Works inspection staff will determine the extent of the sidewalk and curb and gutter repair in the field prior to construction.
33. Sidewalk ADA Compliance: The developer shall remove and replace any sidewalk along the project perimeter that does not meet ADA cross-slope requirements.
34. Intersections: Sight distance requirements shall be maintained at the intersection of any street, alley, or driveway improved for vehicular traffic per S.M.M.C. Sections 12-27.02 and 12-27.03.
35. Caltrans Encroachment Permit: The developer shall obtain an encroachment permit before performing work within State Highway 135 right-of-way. Encroachment permits are issued by California Department of Transportation (Caltrans) at the San Luis Obispo permit office. A note to this effect shall appear on the plans during building plan check.



36. City Encroachment Permit: The developer shall obtain an encroachment permit from the Public Works Engineering Division prior to any work in public streets, alleys, or easements (S.M.M.C. Section 8-6.06).
37. Slurry Seal: Developer shall be required to restore asphalt pavement surface for surrounding parking lots by placing Type II Slurry Seal. Parking lots shall be restriped following the resurfacing. The slurry seal shall be applied for adjacent parking lots due to the parking utilization of this development. This requirement can be met via an in-lieu fee for utilization of the Public Works Department to perform the required resurfacing and restriping as part of the City's annual pavement maintenance project.

#### WATER

38. Additional Water Fixtures: If service is existing and additional fixture units are to be added to the water service, the service lateral and meter size shall be evaluated by the developer's engineer to determine if it is adequate for the increased water usage; if it is not adequate, the developer shall be responsible to install an appropriately-sized service lateral and meter per City Standards.
39. Fire Hydrants: The location, placement, and sizing of on-site water lines and fire hydrants shall be approved by the City Fire Department and Public Works Department.
40. Water Pipe Abandonment: Any existing water services not to be used by this development shall be abandoned by the developer at the mainline per City requirements.

#### WASTEWATER

41. Sanitary Sewer Capacity: The developers shall provide evidence of adequate sewer capacity prior to the issuance of a building permit. If no sewer mains have adequate capacity, the developer shall enlarge existing infrastructure to provide sufficient capacity for the project or install new infrastructure. Installation of new or enlarged infrastructure by the developer will require Public Improvement Plans to be reviewed and approved by the City, and an encroachment permit must be issued by the Public Works Department prior to construction of new infrastructure.
42. Acceptance of Public Infrastructure: Prior to issuance of Certificate of Occupancy, the developer shall clean and verify the integrity of all sanitary sewer infrastructure to the satisfaction of the Public Works Inspector. Inspections at installation do not waive the requirement for re-inspection prior to acceptance by the City.
43. Municipal Code: Discharge into the City's sewer system shall comply with municipal code discharge restrictions and requirements (S.M.M.C. Section 8-12).
44. Additional Sewer Service: If additional plumbing fixtures are to be served by an existing lateral, the lateral size shall be evaluated by the developer's engineer to

determine if it is adequate for the increased sewage. If the lateral is smaller than what is necessary, the developer shall be responsible to install an additional sewer lateral per City and California State Health Agency standards.

45. Sewer Pipe Abandonment: Any existing sewer services not to be utilized by this development shall be abandoned by the developer at the property line per City requirements.
46. New Sewer Lines: All sewer pipes crossing or parallel to public water facilities shall be constructed according to the requirements of the State Water Resources Control Board Division of Drinking Water.
47. New Sewer Lateral: All sewer laterals shall be constructed in compliance with City Standard Drawing SS-14B. Sewer laterals shall be privately maintained infrastructure and connect to City infrastructure with a wye connection.

**STORM WATER (REQUIRED IF SITE IS TO BE GRADED)**

48. Construction Storm Water Requirements (Site > 1 Acre): The developer shall obtain a Storm Water Pollution Prevention Plan (SWPPP) prepared by Qualified SWPPP Developer (QSD). The SWPPP must be reviewed and approved by the Public Works Department prior to issuance of grading and encroachment permits. The developer shall submit the SWPPP and file a Notice of Intent (NOI) with the Central Coast Regional Water Quality Control Board. The submittal is typically handled online through the Regional Board's SMARTs website.

[\(https://smarts.waterboards.ca.gov/smarts/\)](https://smarts.waterboards.ca.gov/smarts/).

49. SWPPP Review Fee: The developer shall submit a hard copy and an electronic copy of the SWPPP for review and approval prior to permit issuance. A SWPPP review fee will be invoiced prior to approval.
50. Cost Estimate and Treasurer's Trust: A detailed cost estimate for the installation and maintenance of the Best Management Practices (BMPs) to be implemented as defined by the SWPPP will be generated from the City's SWPPP review. Prior to grading permit issuance, the developer shall submit a cash deposit in the amount of the approved cost estimate to be held as a Treasurer's Trust. The Treasurer's Trust is intended to guarantee installation and maintenance of the required BMPs. The City will draw from this Treasurer's Trust in the event the developer/contractor does not install or maintain the required BMPs. The Treasurer's Trust shall be returned after Certificate of Occupancy is issued, minus any funds expended by the City to install/maintain the required BMPs on behalf of the developer/contractor.
51. SWPPP Encroachment Permit: Prior to issuance of grading permits, the developer shall obtain an encroachment permit from the Public Works Office to cover inspection of the approved SWPPP. Permit and inspection fees will be due when the permit is released.

## POST-CONSTRUCTION STORM WATER

52. Post-Construction Storm Water: The Central Coast Regional Water Quality Control Board requires that all new projects that create or replace 2,500 square feet or more of impervious area must follow the post-construction requirements (PCRs). The Stormwater Technical Manual and further guidance on completing an SCP are available online (<http://www.sbprojectcleanwater.org>).
- A. The developer shall demonstrate project compliance with the PCRs by submitting a Stormwater Control Plan (SCP) using the template provided in the Stormwater Technical Guide.
  - B. The SCP shall include a site plan, Stormwater Control Measure (SCM) sizing calculations, details of bioretention design, and dimensions of drainage management areas.
  - C. The SCP shall include an Operation and Maintenance (O&M) plan, detailing how the site and required post-construction improvements shall be maintained into perpetuity by the owner.
  - D. A SCP is required and shall receive preliminary approval from the Public Works Department prior to discretionary approval of the Planning Permit. The developer shall resubmit the SCP with the Building Plan submittal for final review and approval. The resubmittal is to account for any necessary changes to the site plan between entitlement and construction.
  - E. Underground Chambers: For developments proposing to utilize underground chamber systems for the basis of stormwater management, the inlets, chambers, and any infrastructure that drains to the underground chamber system shall be cleaned, and video inspection provided to verify the performance of the underground chamber system wasn't compromised during project construction activities. Cleaning and maintenance of this infrastructure shall be followed as per the manufacturer's specifications and the approved stormwater operations and maintenance plan. All cleaning and maintenance activities shall be documented and provided to the Utilities Department, Regulatory Compliance Division on an annual basis.
  - F. Grading plans shall include the following language:
    - i. Provide installation elevation by licensed surveyor to Public Works Department, Engineering Division within 7 calendar days of installation.
    - ii. Provide basin dimension and depth, including outlet structure cross section with elevations, signed and stamped by the Engineer of Record who prepared the Stormwater Control Plan to the Public Works Department, Engineering Division, within 7 calendar days of installation.

- iii. Provide copy of invoice of installed gravel and bioretention soil media, along with photo-documentation of complete structure cross sections to Public Works Department, Engineering Division, within 7 calendar days of installation.

G. The following shall occur prior to final SCP approval:

- i. Engineer of Record that prepares the SCP shall provide documentation of critical design elements in structures that are underground, buried, or otherwise hard to verify after installation. Critical elements include elevations of the bottom of bioretention, top of gravel, and overflow structures.
- ii. The property owner shall sign a Post-Construction Stormwater Control Measures Maintenance Agreement form with the City of Santa Maria. The form will be provided by Public Works after the final review of the SCP. The agreements shall be approved, signed, and attached to the property address prior to issuing the Certificate of Occupancy.

#### SOLID WASTE

53. Multi-Family and Commercial/Industrial Facilities: As mandated by state law, this development is required to comply with all applicable laws and regulations pertaining to solid waste disposal and recycling, the City of Santa Maria Mandatory Organic Waste Disposal Reduction Ordinance No. 2021-10, Chapter 8-21, and Title 8, Chapter 8-11 of the City of Santa Maria Municipal Code.

- A. The developer shall submit a site plan identifying location(s) of each solid waste enclosure ("Enclosure") to contain refuse and recycling (including single stream recycling and organics) bin(s)/container(s). The proposed location of each enclosure shall enable tenants to dispose of their refuse and recyclable materials safely and efficiently. The site plan shall be reviewed and approved by the City prior to issuance of building permits.
- B. Enclosure(s) shall be reserved exclusively for solid waste bin(s)/container(s) storage. Miscellaneous boxes, bins, racks, grease containers, etc., is not permitted within the enclosure.
- C. The developer shall design all site vehicle travel ways to withstand loads imposed by Collection Vehicles.
- D. In such cases where enclosures are proposed to be installed abutting structures, the common wall shall be of a non-combustible masonry-type material with no openings for vents or windows.

#### MODIFICATION OF CONDITIONS

54. The Director of Public Works, Planning Commission, and City Council reserve the right to modify these conditions if they deem it necessary to ensure compliance of the project with Chapter 8-6 of the S.M.M.C. (S.M.M.C. Section 8-6.09).

## **Recreation and Parks Department**

55. Tree Species. Existing palm trees on site to be removed as depicted on presented plans. Trees depicted on plans dated November 4<sup>th</sup>, 2022, are acceptable as presented.
56. Parking Rental Use Agreement. Property owner will enter into a contractual agreement with the Recreation & Parks Department to allow residents to park within City-owned parking facilities. Concerns to be covered may include exclusive or shared use of existing parking, security, and upgraded maintenance of existing pavement and related structures. The signed and notarized "Parking Rental Use Agreement" is due prior to building permit issuance.
57. Tree Specifications. The street trees shall be 24-inch box in size and have a minimum caliper of 1.5 inches. The trees shall be planted six feet behind the sidewalk by a licensed landscape contractor in accordance with the plans and specifications of the Recreation and Parks Department. An irrigation system shall be provided for the trees.
58. Tree Bonding. Street tree bonding shall be \$275 per tree plantings. Tree bonds are to cover a one-year establishment starting at issuance of the Occupancy Permit. Street tree requirements and bond amount are a maximum subject to change during building permit review. The tree bond is due at time of building permit issuance as a cash or surety bond delivered to Recreation and Parks at 615 S. McClelland Street, Santa Maria, CA 93454.
59. Tree Easement. A minimum ten-foot-wide tree planting easement shall be dedicated to the City to allow adequate space for planting and maintenance of street trees. The easement shall not have any impervious pavement other than vehicle and pedestrian approaches, nor be dual purposed as a storm water mitigation area. The applicant shall apply for the easement through the Public Works Department with necessary fees, a recent copy of a title report, closure calculations and sketch. The property owner is responsible for the upkeep of the trees, landscaping and irrigation within the easement area.
60. Tree Planting. Any nursery stock tree planted without inspection and approval by the Recreation and Parks Department shall be deemed defective and be removed by the person(s) responsible for the planting at their own expense. All plant material shall not be root bound or contain girdling roots. Street tree location(s) shall be approved onsite by the Special Districts Supervisor prior to installation.
61. Landscape Plans. The street tree easement shall be clearly identified on the planting and irrigation plans. Only street trees shall be planted in the easement area. All other on-site private tree planting shall be planted behind the easement area.

The following shall be noted on the landscape plan: "The final locations of street trees shall be determined on-site by the Special Districts Supervisor. Twenty-four hour notice is required for inspection prior to planting, (805) 925-0951 ext. 2346. Installation shall be in accordance with Recreation and Parks Department specifications."

62. Development Fees. Per the Municipal Code, several Recreation and Parks Development Fees may apply to this project.

a. <u>Subdivision in Lieu</u>	<u>\$1,990.00</u>
b. <u>Residential Development Tax</u>	<u>\$185.00</u>
c. <u>Commercial Growth Mitigation</u>	<u>\$0.01/square foot</u>
d. <u>Multi-family/Senior Growth Mitigation</u>	<u>\$3.27/square foot</u>

Note: fees are reviewed annually and are subject to change.

63. Landscape District. This project will be included in the Northwest Landscape Maintenance District & Downtown Special Benefit Zone. The signed and notarized "Petition Requesting Annexation" form is due at time of building permit issuance. It can be returned to the Recreation and Parks Department, 615 S. McClelland Street, Santa Maria, CA 93454.

**NOTES:**

This permit is not valid until the 15th calendar day following the issuance of the permit, providing no appeal is filed; or if an appeal is filed, this permit is not valid until the effective date of the final action on the appeal. Appeals shall be based on Chapter 12-41 of the Municipal Code.

Failure to comply with any of the conditions stated above may be cause for revocation or modification of this permit, in addition to any other penalties provided by law.

All conditions of approval are to be completed prior to occupancy unless otherwise stated, and are to be maintained in perpetuity.