

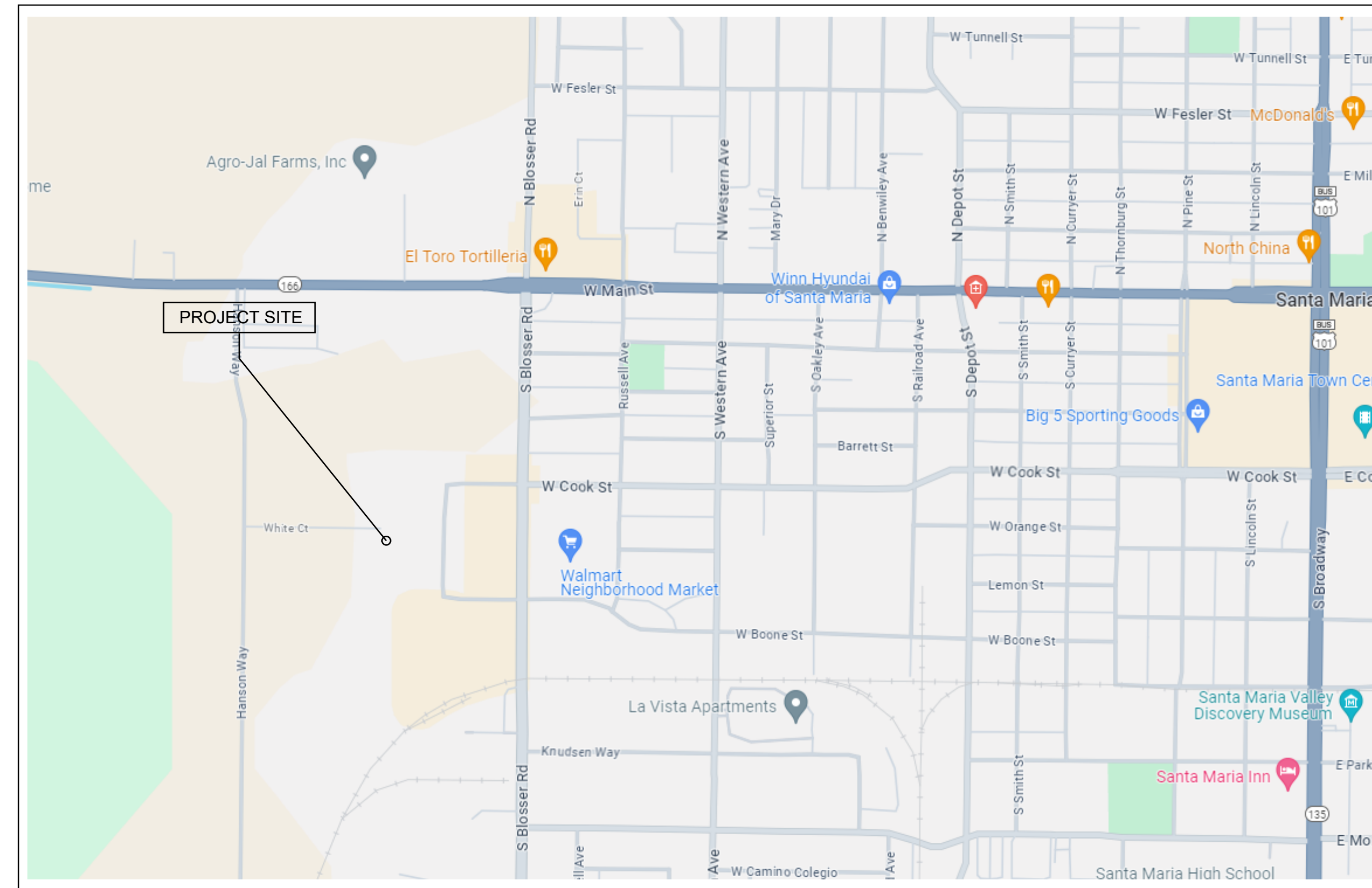
**SPECIFIC NOTES**

1. NO PROPOSED GRADING, PAVING, ELECTRICAL, MECHANICAL OR PLUMBING WORK.
2. PROJECT NOT WITHIN WILDLAN URBAN INTERFACE.
3. FRAMING, SECTION AND DETAILS TO BE USED FOR 5,200 & 6,000 SF STRUCTURES.
4. SEE STRUCTURAL CALCULATIONS DATED DECEMBER 15TH, 2018.

# ARCHITECTURAL PLANS

## WEYRICK LUMBER STORAGE CANOPIES

(4) each - 30' X 150' = 4,500 SF each = 18,000 GROSS SF



VICINITY MAP

**SHEET INDEX**

- T-1.1 TITLE SHEET
- A-2.0 SITE PLAN
- A-2.1 FRAMING, SECTION & DETAILS

**PROJECT DESCRIPTION**

WOOD POLE SUPPORTED LUMBER STORAGE CANOPIES. BUILDING AREAS:  
30' X 150' = 4,500 SF

HEIGHT:  
17'-11-3/4"

**APPROVED PERMITS**

**CODE ANALYSIS**

CODE ALLOWABLE AREA PER #T-506.2 9,000 SF  
CODE SEPARATION PER T-602 20'-0"  
PROPOSED BUILDING SEPARATION 30'-0"

**SPECIAL INSPECTIONS**

SPECIAL INSPECTIONS:  
NONE REQUIRED PER SECTION 1705 CBC  
  
STRUCTURAL OBSERVATION:  
NONE REQUIRED PER SECTION 1704.

**PROJECT INFORMATION**

OWNER COLIN WEYRICK  
PROJECT ADDRESS 1306 WHITE COURT  
SANTA MARIA, CA 93458  
APN 117-600-011  
PHONE 805-434-3800

**PROJECT STATISTICS**

OCCUPANCY S-1  
LOT SIZE 1.20 ACRES  
CONSTRUCTION TYPE VB - Non-Sprinklered  
PROPOSED BUILDING AREAS: 18,000 GROSS SF  
STRUCTURE #1 4,500 SF w/ 30'-0" Max Bays  
STRUCTURE #2 4,500 SF w/ 30'-0" Max Bays  
STRUCTURE #3 4,500 SF w/ 30'-0" Max Bays  
STRUCTURE #4 4,500 SF w/ 30'-0" Max Bays

**CONSULTANTS**

**PLANNER**  
KIRK CONSULTING, INC.  
8830 MORRO ROAD  
ATASCADERO, CA 93422  
805-461-5765

**GEOTECHNICAL ENGINEER**  
RICK ARMERO (PACIFIC COAST TESTING)  
P.O. BOX 6835 SANTA MARIA, CA 93456  
805-631-5937

**ARCHITECT**  
NICK GILMAN  
LIC. # C-6431  
945 12TH ST. STE. E  
PASO ROBLES, CA 93446  
805-238-3432

PLAN PREPARED FOR:  
 COLIN WEYRICK  
 1306 WHITE COURT  
 SANTA MARIA, CA 93458

REVISION LOG

REV.	DESCRIPTION	DATE

**GENERAL CONSTRUCTION NOTES**

1. ALL WORK SHALL CONFORM WITH THE:
  - 2016 CBC
  - 2016 CEC
  - 2016 CMC
  - 2016 CPC
  - 2016 CENC AND T-24
  - 2016 CALIFORNIA GREEN BUILDING CODE
  - 2016 CFC
2. THESE NOTES SHALL APPLY TO ALL DRAWINGS UNLESS OTHERWISE NOTED OR SHOWN. FEATURES OF CONSTRUCTION SHOWN ARE TYPICAL AND THEY SHALL APPLY GENERALLY THROUGHOUT SIMILAR CONDITIONS. ALL OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR GENERAL NOTES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER BY THE GENERAL CONTRACTOR BEFORE PROCEEDING WITH ANY WORK SO INVOLVED.
3. ALL WORK AND CONSTRUCTION METHODS AND MATERIALS SHALL COMPLY WITH ALL PROVISIONS OF THE BUILDING CODES AND OTHER RULES, REGULATIONS AND ORDINANCES GOVERNING THE CONSTRUCTION SITE. BUILDING CODE REQUIREMENTS IN ALL CASES TAKE PRECEDENCE OVER THE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR AND/OR MATERIALS TO BRING TO THE ATTENTION OF THE ARCHITECT/ENGINEER ANY DISCREPANCIES OR CONFLICTS BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS.
4. DO NOT SCALE THE DRAWINGS. DIMENSIONS SHOWN SHALL TAKE PRECEDENCE OVER DRAWING SCALE OR PROPORTION. LARGE SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
5. THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE SHOWN, THEY DO NOT INDICATE METHOD OF CONSTRUCTION. CONTRACTOR SHALL SUPERVISE AND DIRECT WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY FIELD REPRESENTATIVES OF THE ARCHITECT/ENGINEER SHALL NOT INCLUDE INSPECTIONS OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES REQUIRED FOR SAME, WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY SUPPORT SERVICES PERFORMED BY THE ARCHITECT/ENGINEER DURING CONSTRUCTION SHALL BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICES WHICH ARE FURNISHED BY OTHERS. THESE SUPPORT SERVICES PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING CONFORMANCE WITH CONTRACT DRAWINGS AND SPECIFICATIONS, AND THEREFORE THEY DO NOT GUARANTEE CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSTRUED AS SUPERVISION OF CONSTRUCTION.
6. CONTRACTOR HEREBY GUARANTEES TO THE OWNER AND THE ARCHITECT/ENGINEER THAT ALL MATERIALS, FIXTURES, AND EQUIPMENT FURNISHED TO THE PROJECT ARE NEW UNLESS OTHERWISE SPECIFIED. CONTRACTOR ALSO WARRANTS THAT ALL WORK WILL BE OF GOOD QUALITY AND FREE FROM ANY FAULTS AND DEFECTS FOR A PERIOD OF ONE YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION, UNLESS A GREATER WARRANTY OR GUARANTEE IS REQUIRED BY THE PROJECT SPECIFICATIONS.
7. ANYONE SUPPLYING LABOR AND/OR MATERIALS TO THE PROJECT SHALL CAREFULLY EXAMINE ALL SUBSURFACES TO RECEIVE WORK. ANY CONDITIONS DETRIMENTAL TO WORK SHALL BE REPORTED IN WRITING TO THE CONTRACTOR PRIOR TO BEGINNING WORK. COMMENCEMENT OF WORK SHALL IMPLY ACCEPTANCE OF ALL SUBSURFACES.
8. REFER TO ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR DEPRESSED SLABS CURB, FINISHES, TEXTURES, CLIPS, GROUNDS, ETC., NOT SHOWN ON STRUCTURAL DRAWINGS.
9. ANY MATERIALS STORED AT THE SITE SHALL BE COMPLETELY SUPPORTED FREE OF THE GROUND, COVERED AND OTHERWISE PROTECTED TO AVOID DAMAGE FROM THE ELEMENTS.
10. MORE DETAILED INFORMATION SHALL TAKE PRECEDENCE OVER LESSER DETAILED INFORMATION. SPECIFICATIONS SHALL TAKE PRECEDENCE OVER DRAWINGS.
11. GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL APPLICABLE CODES AND LOCAL ORDINANCES.
12. THE CONTRACTOR AND ALL SUB-CONTRACTORS WILL BE HELD ACCOUNTABLE TO THE ABOVE GENERAL NOTES FOR THE CONSTRUCTION OF THE PROJECT.
13. THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE OR DISBURSE ANY EXCESS MATERIAL FROM PROJECT SITE.
14. THIS SET OF PLANS TO BE ON JOB SITE AT ALL TIMES DURING CONSTRUCTION. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPROVED PLANS. NO CHANGES OR REVISIONS TO THE APPROVED PLANS OR SPECIFICATIONS SHALL BE PERMITTED UNLESS SUBMITTED TO AND APPROVED BY THE BUILDING OFFICIAL. THE ISSUANCE OF A PERMIT SHALL NOT PREVENT THE BUILDING OFFICIAL FROM REQUIRING THE CORRECTION OF ERRORS OR OMISSIONS FROM THE APPROVED PLANS AND SPECIFICATIONS. [CBC 108]
15. ALL CONTRACTORS AND SUB-CONTRACTORS MUST HAVE ON FILE WITH THE BUILDING DEPARTMENT, A LIST OF ALL SUCH CONTRACTORS AND SUB-CONTRACTORS WITH APPROPRIATE CURRENT BUSINESS LICENSE NUMBERS.
16. UNLESS NOTED OTHERWISE, ALL VESTIBULES, CLOSETS, COLUMNS, PROJECTIONS, RECESSES, OR OTHER ADJACENT AREAS WITHIN SCHEDULED AREA SHALL HAVE FINISHES AS SCHEDULED FOR THE RESPECTIVE SPACES IN WHICH THEY OCCUR.
17. CONTRACTOR SHALL VERIFY ALL SETBACKS, EASEMENTS, CONTOURS, AND BUILDING PAD PRIOR TO CONSTRUCTION.

**TITLE SHEET**

SHEET NUMBER:  
**T-1.1**

WHITE COURT

130'  
APN 117-600-026

206'  
APN 117-600-011

FARNEL ROAD

123'

40'

30'

30'

30'

30'

30'

30'

30'

5'

100'

26'

206'

150'

30'

218'

STORAGE BARN #1  
4500 SQFT

STORAGE BARN #2  
4500 SQFT

STORAGE BARN #3  
4500 SQFT

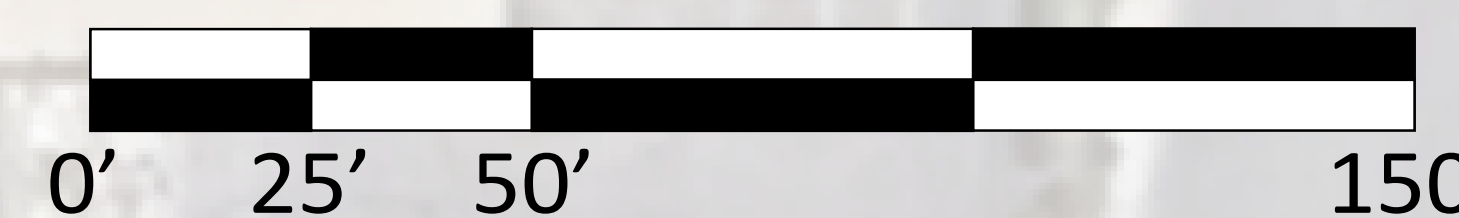
STORAGE BARN #4  
4500 SQFT

305'

(E) BUILDING

(E) CONCRETE

SCALE: 1" = 25'



PLAN PREPARED FOR:

COLIN WEYRICK  
1306 WHITE COURT  
SANTA MARIA, CA 93458  
(APN 117-600-026, & 011)

REVISION LOG

REV.	DESCRIPTION	DATE

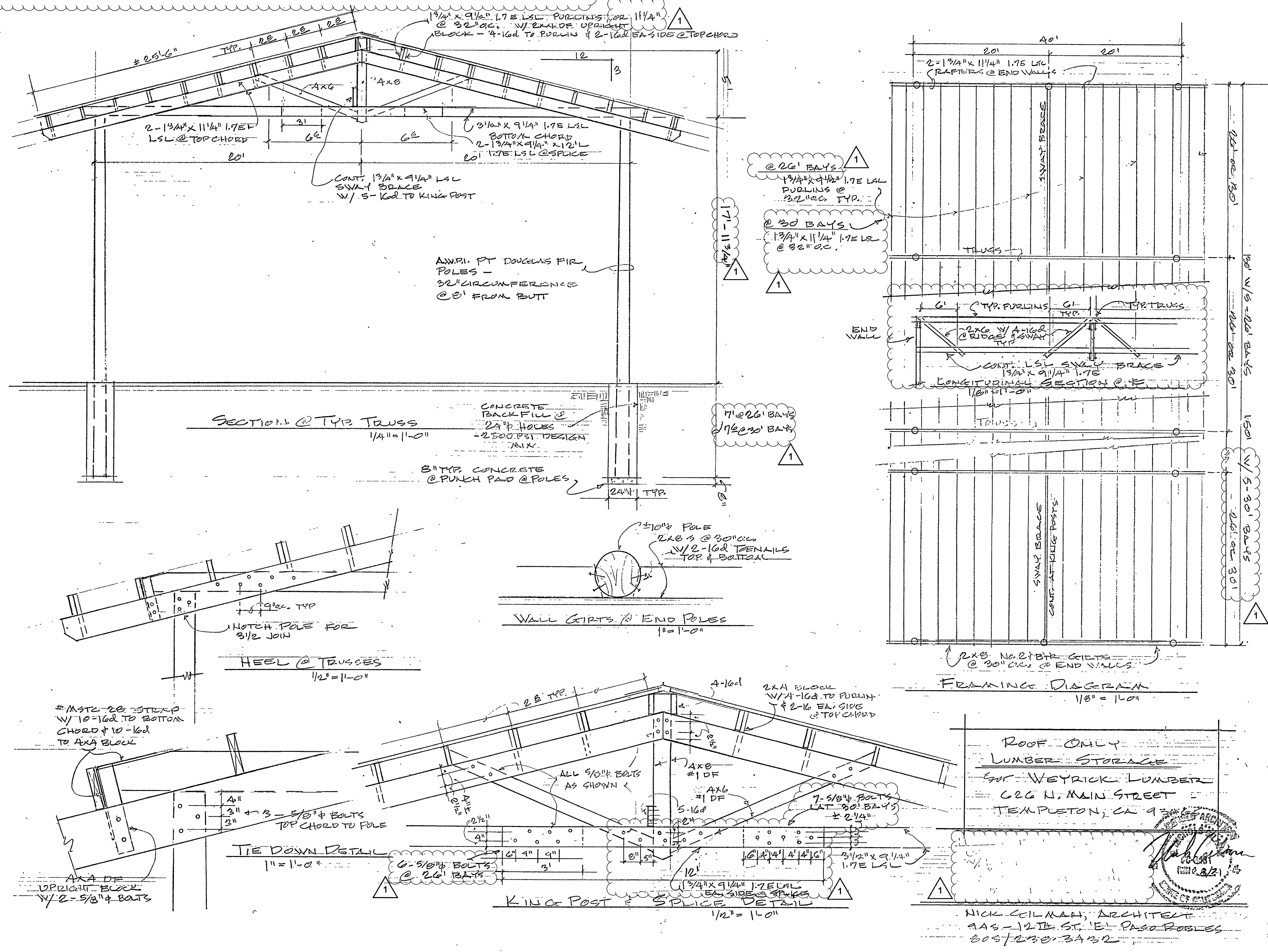
SITE PLAN

SHEET NUMBER

A-2.0

NOTES:

1. NO GRADING, PAVING, ELECTRICAL, PLUMBING OR MECHANICAL
2. NOT WITHIN WILDLAN URBAN INTERFACE
3. DETAILS AND SECTION ON THIS SHEET IS FOR ALL PROPOSED BUILDINGS (5,200 SF and 6,000 SF)



PLAN PREPARED FOR:  
 COLIN WEYRICK  
 1306 WHITE COURT  
 SANTA MARIA, CA 93458  
 (APN 117-600-026, & 011)

REVISION LOG

REV.	DESCRIPTION	DATE

ROOF ONLY  
 LUMBER STORAGE  
 FOR WEYRICK LUMBER  
 626 N. MAIN STREET  
 TEMPESTON, CA 9  
 NICK COILMAN, ARCHITECT  
 945 - 12TH ST. EL PASO ROBLES  
 805 / 238 - 3432

FRAMING, SECTION & DETAILS

## GRADING NOTES

- ALL GRADING AND DRAINAGE SHALL CONFORM TO CHAPTER 18 AND APPENDIX J OF THE CURRENT CALIFORNIA BUILDING CODE (CBC) (2022 EDITION), 2022 CALIFORNIA RESIDENTIAL CODE (CRC), 2022 CALIFORNIA MECHANICAL CODE (CMC), 2022 CALIFORNIA PLUMBING CODES (CPC), 2022 CALIFORNIA GREEN BUILDING STANDARDS (CGBS), 2022 CALIFORNIA ELECTRIC CODE (CEC), 2022 CALIFORNIA ENERGY CODE (CEC), AND THE CITY OF SANTA MARIA MUNICIPAL CODE (CSMC), AS ADOPTED BY THE CITY OF SANTA MARIA, EXCEPT WHERE SPECIFICALLY SHOWN OR OTHERWISE NOTED.
- PROVIDE UNIFORM GRADES BETWEEN CONTROL ELEVATIONS WITH SMOOTH VERTICAL CURVES AT GRADE BREAKS.
- ALL FILL AREAS SHALL BE CLEARED OF ALL VEGETATION OR OTHER DELETERIOUS MATERIAL, AND THE AREA SCARIFIED AND RECOMPACTED TO A DEPTH AS SPECIFIED IN THE SOILS REPORT, PRIOR TO PLACING OF ANY FILL MATERIAL.
- NO FILL SHALL BE PLACED UNTIL SITE PREPARATION HAS BEEN APPROVED BY THE CITY GRADING INSPECTOR.
- CLEAN FILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED 8 INCHES AND COMPACTED AT OPTIMUM MOISTURE CONTENT BY AN APPROVED METHOD. NO ROCK OR SIMILAR IRREDUCIBLE MATERIAL WITH A MAXIMUM DIMENSION GREATER THAN 3" SHALL BE BURIED OR PLACED IN FILL.
- ALL FILL IS TO BE COMPACTED TO 95% RELATIVE COMPACTION. MINIMUM COMPACTION IS TO BE DETERMINED BY ASTM D1557-02, MODIFIED TO THREE LAYERS, AND SO CERTIFIED BY TESTS AND REPORTS FROM A SOILS ENGINEER.
- ALL CUT AND FILL SLOPES SHALL BE NO STEEPER THAN 2 TO 1.
- EXISTING CONTOURS REPRESENT ORIGINAL GROUND AT 1 FOOT INTERVALS.
- THE GRADING PERMIT HOLDER AND THE OWNER/DEVELOPER SHALL COMPLY WITH DUST CONTROL MEASURES REQUIRED BY THE CITY OF SANTA MARIA STANDARD POLICY.
- ALL SLOPES SHALL BE PLANTED WITH APPROVED VEGETATION AND BE DENSE AND GROWING PRIOR TO FINAL INSPECTION.
- ESTIMATED QUANTITY OF EARTH TO BE MOVED:
 

RAW CUT:	694 C.Y. CUT
RAW FILL:	0 C.Y. FILL
	694 C.Y. NET CUT

\* NO SHRINKAGE OR SUBSIDANCE INCLUDED
- THE CONTRACTOR SHALL EXPOSE AND VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING IMPROVEMENTS PRIOR TO BEGINNING WORK.
- EARTH MOVING AND GRADING ACTIVITIES SHALL BE LIMITED TO THE HOURS BETWEEN 7:00 A.M. AND 6:00 P.M. ON MONDAY THRU FRIDAY AND BETWEEN 8:00 A.M. AND 5:00 P.M. ON SATURDAY. NO CONSTRUCTION SUNDAY AND DESIGNATED HOLIDAYS.
- THE SITE SHALL BE WATERED DURING THE CONSTRUCTION PHASES OF THE PROJECT. FAILURE TO IMPLEMENT AND MAINTAIN AN ADEQUATE DUST CONTROL PROGRAM ACCEPTABLE TO THE CITY WILL RESULT IN THE ISSUANCE OF A "STOP WORK" NOTICE. SAID NOTICE WILL NOT BE RELEASED UNTIL SUCH TIME AS AN ADEQUATE DUST CONTROL PROGRAM IS IMPLEMENTED.
- ALL ROADS, CIRCULATION WAYS AND HAUL ROUTES SHALL BE KEPT CLEAN AND CLEAR OF DEBRIS, DIRT AND DUST IN A MANNER ACCEPTABLE TO THE CITY. AT A MINIMUM, THESE AREAS SHALL BE CLEANED AT THE END OF EACH WORK DAY. FAILURE TO DO SO WILL RESULT IN THE ISSUANCE OF A "STOP WORK" NOTICE. SAID NOTICE WILL NOT BE RELEASED UNTIL THE AREA HAS BEEN ADEQUATELY CLEANED. THE FLUSHING OF DIRT AND DEBRIS TO STORM DRAIN OR SANITARY SEWER FACILITIES SHALL NOT BE PERMITTED.
- ALL WORK PERFORMED IN THE CITY RIGHT OF WAY REQUIRES AN ENCROACHMENT PERMIT FROM THE CITY OF SANTA MARIA PUBLIC WORKS ENGINEERING DIVISION LOCATED AT 110 S. PINE STREET. PERMITS ARE TO BE OBTAINED PRIOR TO BEGINNING WORK.
- ALL EXPOSED STEEL TO BE HOT DIP GALVANIZED.
- ALL PROPOSED AND/OR EXISTING EASEMENTS ARE SHOWN ON THIS PLAN.
- ALL PROPOSED GRADING, EXCEPT FOR OFF SITE IMPORT EARTH, SHALL BE MAINTAINED WITHIN THE BOUNDARIES OF THE SITE FOR WHICH THE PERMIT WAS ISSUED.
- ALL TRACT BOUNDARY WALLS SHALL BE STAKED AND VERIFIED FOR HEIGHT AND LOCATION BY THE CIVIL ENGINEER OR LAND SURVEYOR.
- THE SOILS ENGINEER SHALL SUBMIT APPROVAL TO THE BUILDING DIVISION THAT THE FILL MATERIAL IS ADEQUATE FOR USE ON THIS SITE.
- ALL AREAS UNDER PUBLIC AND PRIVATE STREETS, CURBS AND GUTTERS SHALL BE COMPACTED TO 95% RELATIVE DENSITY.
- IF ANY OIL SLUMPS OR CONTAMINATED SOILS ARE FOUND DURING THE GRADING OF THE SITE, ALL GRADING IN THESE AREAS SHALL CEASE. SOILS CHEMICAL TESTS SHALL BE TAKEN WITH RESULTS PROVIDED TO THE CITY OF SANTA MARIA BUILDING DIVISION AND THE COUNTY OF SANTA BARBARA PROTECTION SERVICES DIVISION AND/OR PETROLEUM DIVISION. GRADING MAY RECOMMENCE AFTER APPROVAL FROM THE SANTA BARBARA PROTECTION SERVICES DIVISION AND/OR PETROLEUM DIVISION AND THE CITY OF SANTA MARIA BUILDING DIVISION HAS BEEN OBTAINED. ALL CONTAMINATED EARTH SHALL BE REMOVED FROM THE SITE AND/OR DISPOSED OF IN AN APPROVED MANNER.
- SECTION 4216/4217 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER, CALL UNDERGROUND SERVICE ALERT TOLL FREE 1-800-227-2600 TWO WORKING DAYS BEFORE YOU DIG.
- GRADING IN AREAS CONTROLLED BY SANTA BARBARA COUNTY FLOOD CONTROL DISTRICT OR FLOWING DIRECTLY INTO A DISTRICT FACILITY WILL REQUIRE PLAN REVIEW BY THE SANTA BARBARA COUNTY FLOOD CONTROL DISTRICT. THE APPLICANT MAY BE REQUIRED TO PAY THE DISTRICT THEIR REGULAR PLAN CHECK FEE.
- CONTRACTOR SHALL OBTAIN ENCROACHMENT PERMIT FROM S.B.C.F.C.D. FOR ANY WORK WITHIN F.C. EASEMENT 48 HRS. PRIOR TO BEGINNING OF WORK.
- WHEN APPROVED IMPERVIOUS SURFACES ARE EMPLOYED TO CARRY WATER, THE MINIMUM GRADIENT IS 0.50% EXCEPT WHERE CONCRETE GUTTERS ARE USED, IN THIS CASE A 0.25% GRADIENT IS ACCEPTABLE IF THE AREA IS STAKED EVERY 25 FEET TO ASSURE ACCURACY.
- MINIMUM SLOPE TO DRAIN ON EARTH SHALL BE 0.50%. IT SHALL BE STAKED EVERY 25' TO ASSURE ACCURACY.
- ALL EXCAVATED SOIL AND LAND CLEARING DEBRIS SHALL COMPLY WITH THE CALIFORNIA GREEN BUILDING STANDARDS, 100 PERCENT OF TREES, STUMPS, ROCKS AND ASSOCIATED VEGETATION AND SOILS RESULTING PRIMARILY FROM LAND CLEARING SHALL BE REUSED OR RECYCLED.

## DUST CONTROL MEASURES

- THE GRADING PERMIT HOLDER AND THE OWNER/DEVELOPER SHALL COMPLY WITH DUST CONTROL MEASURES REQUIRED BY THE CITY OF SANTA MARIA STANDARD POLICY.
- DUST CONTROL MEASURES CAPABLE OF PREVENTING THE MIGRATION OF DIRT AND DUST OFF SITE, IN A MANNER ACCEPTABLE TO THE CITY OF SANTA MARIA SHALL BE IMPLEMENTED AND MAINTAINED DURING ALL CONSTRUCTION, EARTH MOVING AND GRADING PHASES OF A PROJECT. FAILURE TO DO SO WILL RESULT IN THE ISSUANCE OF A "STOP WORK" ORDER WHICH WILL NOT BE RELEASED UNTIL SUCH TIME AS AN ADEQUATE PROGRAM IS IMPLEMENTED.
- DURING THE CLEARING, EARTH MOVING AND GRADING PHASES OF THE PROJECT, WATER TRUCKS OR SPRINKLER SYSTEMS SHALL BE USED IN SUFFICIENT QUANTITIES TO PREVENT DUST FROM LEAVING THE SITE. IN ADDITION, THE ENTIRE SITE AREA OF DISTURBED SOILS SHALL BE WETTED DOWN DURING THE EARLY MORNING HOURS AND AT THE END OF EACH DAY IN SUCH A MANNER AS TO CREATE A CRUST.
- DURING THE CONSTRUCTION PHASE OF THE PROJECT, WATER TRUCKS OR SPRINKLER SYSTEMS SHALL BE USED TO KEEP ALL AREAS OF VEHICULAR MOVEMENT DAMP ENOUGH TO PREVENT DUST RAISED FROM LEAVING THE SITE. AS A MINIMUM, THIS WILL INCLUDE THE WETTING DOWN OF SUCH AREAS IN THE LATE MORNING HOURS AND AT THE CLOSE OF EACH DAY'S ACTIVITIES. INCREASED WATERING FREQUENCY WILL BE REQUIRED WHENEVER WIND SPEEDS EXCEED 20 MILES PER HOUR.
- ALL TRUCKS HAULING SOIL MATERIALS TO AND FROM THE SITE SHALL BE COVERED WITH A TARP TO PREVENT DUST FROM BLOWING OFF THE TRUCK.
- ALL ALLEY WAYS, CIRCULATION ROUTES, HAUL ROUTES, STREETS AND SIDEWALKS SHALL BE KEPT CLEAN AND CLEAR OF DIRT, DUST AND DEBRIS IN A MANNER ACCEPTABLE TO THE CITY OF SANTA MARIA. AS A MINIMUM, SAID AREAS SHALL BE CLEANED AT THE END OF EACH WORKING DAY OR MORE OFTEN IF DIRECTED BY CITY PERSONNEL. THE FLUSHING OF DIRT OR DEBRIS TO STORM DRAIN OR SANITARY SEWER FACILITIES SHALL NOT BE PERMITTED. FAILURE TO KEEP THESE AREAS CLEAN WILL RESULT IN THE ISSUANCE OF A "STOP WORK" ORDER WHICH WILL NOT BE RELEASED UNTIL SUCH TIME AS THE AREA IS CLEANED IN A MANNER ACCEPTABLE TO THE CITY.
- AFTER COMPLETION OF EACH PHASE (CLEARING, GRADING, OR EXCAVATION), THE ENTIRE AREA OF DISTURBED SOIL SHALL BE TREATED TO PREVENT WIND PICK UP OF THE SOIL. THIS MAY BE ACCOMPLISHED BY ANY ONE OF THE FOLLOWING METHODS:
  - THE SEEDING AND/OR WATERING OF THE SITE UNTIL SUCH TIME AS THE GROUND COVER HAS TAKEN ROOT.
  - THE SPREADING OF SOIL BINDERS.
  - THE WETTING DOWN OF THE AREA IN SUCH A MANNER AS TO CREATE A CRUST ON THE SURFACE AND THE REPEATED SOAKING OF THE AREA, AS NECESSARY, TO MAINTAIN THE CRUST AND PREVENT SOIL BLOWING.
- THE CONTRACTOR OR BUILDER SHALL DESIGNATE A PERSON OR PERSONS TO MONITOR THE DUST CONTROL PROGRAM AND TO ORDER INCREASED WATERING, AS NECESSARY, TO PREVENT THE TRANSPORT OF DUST OFF-SITE. THIS PERSON'S DUTY SHALL INCLUDE HOLIDAY AND WEEKEND PERIODS WHEN WORK MAY NOT BE IN PROGRESS. THE NAME AND TELEPHONE NUMBER OF SUCH PERSON OR PERSONS SHALL BE PROVIDED TO THE CITY OF SANTA MARIA COMMUNITY DEVELOPMENT DEPARTMENT AND PUBLIC WORKS DEPARTMENT.
- THE PROJECT CIVIL ENGINEER SHALL PROVIDE TO THE COMMUNITY DEVELOPMENT DEPARTMENT A DUST CONTROL BOND ESTIMATE IDENTIFYING THE COST REQUIRED TO ADEQUATELY WATER THE SITE AND HYDROSEED THE PROJECT. THIS AMOUNT, IF ACCEPTABLE, IS TO BE POSTED BY MEANS OF A BOND OR CASH DEPOSIT AT THE TIME OF THE GRADING PERMIT ISSUANCE. IF THE APPLICANT FAILS TO IMPLEMENT ADEQUATE DUST CONTROL MEASURES, EITHER DURING GRADING OR UPON COMPLETION, THIS BOND/DEPOSIT MAY BE USED BY THE CITY TO MITIGATE THE MIGRATION OF DUST OFF THE SITE.
- AFTER ALL GRADING IS COMPLETED AND THE ENTIRE SITE IS ADEQUATELY PROTECTED BY A SOIL BINDER, HYDROSEEDING OR LANDSCAPING TO PREVENT EROSION AND DUST MOVEMENT, THE BOND WHICH IS TO BE POSTED WILL BE RELEASED.

COLIN WEYRICK 805-434-3900  
NAME PHONE NUMBER

## GRADING CERTIFICATES

### A. OWNER/DEVELOPER CERTIFICATE: [SIGN PRIOR TO APPROVAL OF GRADING PLANS]

- OWNER/DEVELOPER OF THE WEYRICK LUMBER GRADING PROJECT, WILL HAVE A LICENSED CIVIL ENGINEER, LAND SURVEYOR OR ARCHITECT CERTIFY:
  - THAT PRIOR TO THE CONSTRUCTION OF ANY BUILDING FOUNDATION, THE LOT BOUNDARIES HAVE BEEN CLEARLY IDENTIFIED ON THE SITE; THE GRADED PAD ELEVATIONS ARE AS SHOWN ON THE APPROVED GRADING PLAN; AND THE PROPOSED BUILDING/S ARE LOCATED IN CONFORMANCE WITH THE APPROVED CITY SITE PLAN; AND THE FINISH FLOOR ELEVATIONS ARE IN CONFORMANCE WITH THE APPROVED CITY AND GRADING PLANS.
  - THAT THE FINISHED GRADES HAVE BEEN FIELD CHECKED AND THAT THE SITE FINISHED GRADING WORK HAS BEEN COMPLETED IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED GRADING PLAN.
  - THAT FINISHED GRADES COMPLY WITH THE CITY OF SANTA MARIA'S FLOOD PLAIN MANAGEMENT ORDINANCE AND THE NATIONAL FLOOD INSURANCE ACT, WHERE THESE ARE APPLICABLE.
  - THAT THE MASONRY WALLS HAVE BEEN CONSTRUCTED AS SHOWN ON THE APPROVED GRADING PLAN, INCLUDING CERTIFICATION OF THE TOP OF FOOTING AND TOP OF WALL ELEVATIONS.

COLIN WEYRICK 11-14-24  
OWNER/DEVELOPER DATE

### D. FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) AND FLOOD INSURANCE RATE MAP (FIRM) CERTIFICATE: [COMPLETE AND SIGN PRIOR TO APPROVAL OF GRADING PLAN]

COMMUNITY NUMBER: 060336 PANEL NUMBER: 0187F  
DATE OF FIRM: NOVEMBER 30, 2005 DATE OF FIRM AMENDMENTS:  
FIRM ZONE: X  
BASE FLOOD ELEVATION: UNKNOWN X NGVD '29 OTHER {REFERENCE DATUM SYSTEM}  
THE LOWEST FLOOR ELEVATION IN ALL A-ZONES, WHERE BASE FLOOD ELEVATIONS ARE UTILIZED, WILL BE FIELD CHECKED, "AS-BUILT" AND CERTIFIED PRIOR TO OCCUPANCY OF THE STRUCTURE(S) BY A LICENSED CIVIL ENGINEER, LAND SURVEYOR OR ARCHITECT AS REQUIRED TO COMPLY WITH THE CITY OF SANTA MARIA FLOOD PLAN MANAGEMENT ORDINANCE AND FEMA REQUIRED INFORMATION FROM THE FLOOD INSURANCE RATE MAP.

ELEVATION DATUM USED ON THE FIRM FOR BASE FLOOD ELEVATION (IN AO ZONES USE DEPTH) IS THE NATIONAL GEODETIC VERTICAL DATUM (NGVD), 1929. IF THE ELEVATION DATUM SYSTEM USED IS DIFFERENT THAN THAT USED ON THE FIRM, CONVERT THE ELEVATIONS TO THE DATUM SYSTEM USED ON THE FIRM AND SHOW THE CONVERSION EQUATION BELOW THIS CERTIFICATE.}

I CERTIFY THAT THE INFORMATION ON THIS CERTIFICATE REPRESENTS MY BEST EFFORTS TO INTERPRET THE DATA AVAILABLE. IF THE PROJECT IS NOT IN AN A-ZONE AND NOT SUBJECT TO BASE FLOOD ELEVATION REQUIREMENTS, THE APPLICABLE ZONE IS NOTED. I UNDERSTAND THAT ANY FALSE STATEMENT MAY BE PUNISHABLE BY FINE OR IMPRISONMENT UNDER 18 U.S.C. CODE, SECTION 1001.

CERTIFIER'S NAME: RUSSELL J. GARRISON LICENSE NUMBER: R.C.E. 59987  
TITLE: PRINCIPAL  
ADDRESS: 2624 AIRPARK DRIVE. CITY: SANTA MARIA.  
STATE: CALIFORNIA. ZIP: 93455 PHONE: (805) 934-5767

Russell J. Garrison 11-14-24  
RUSSELL J. GARRISON P.E. R.C.E. 59987 DATE

### E. FINAL INSPECTION GRADING CERTIFICATE: [SIGN FOR FINAL OR PRIOR TO OCCUPANCY.]

THE DRAINAGE DESIGN AND ELEVATIONS SHOWN ON THE APPROVED GRADING PLANS DATED \_\_\_\_\_ HAVE BEEN FIELD CHECKED BY A LICENSED CIVIL ENGINEER, LAND SURVEYOR OR ARCHITECT AND ARE FOUND TO BE IN SUBSTANTIAL CONFORMANCE WITH THE DESIGN AND ELEVATIONS SHOWN OR "AS-BUILT" PLANS HAVE BEEN SUBMITTED TO THE CITY FOR APPROVAL. A COPY OF THESE CITY APPROVED "AS-BUILTS" IS ATTACHED HERewith IF APPLICABLE.

RUSSELL J. GARRISON P.E. R.C.E. 59987 DATE

## ADDITIONAL CONSTRUCTION NOTES

- EQUIPMENT ENGINES SHALL BE MAINTAINED IN GOOD WORKING CONDITION AND IN PROPER TUNE AS PER MANUFACTURER'S SPECIFICATIONS.
- THE NUMBER OF CONSTRUCTION EQUIPMENT OPERATING SIMULTANEOUSLY SHALL BE MINIMIZED THROUGH EFFICIENT MANAGEMENT PRACTICES TO ENSURE THAT THE SMALLEST PRACTICAL NUMBER IS OPERATING AT ANY ONE TIME.
- DURING SMOG SEASON (MAY THROUGH OCTOBER), THE CONSTRUCTION PERIOD SHOULD BE LENGTHENED (I.E. THE LEVEL OF DAILY ACTIVITY AND/OR THE SIZE OF THE EQUIPMENT FLEET SHOULD BE DECREASED AND THE NUMBER OF DAYS FOR SITE PREPARATION ACTIVITY SHOULD BE INCREASED) SO AS TO MINIMIZE THE NUMBER OF VEHICLES AND EQUIPMENT OPERATING AT THE SAME TIME.
- FOR EMISSION REDUCTIONS FROM DIESEL CONSTRUCTION EQUIPMENT: REFORMULATED DIESEL FUEL SHALL BE USED, TWO-DEGREE ENGINE TIMING RETARD SHALL BE EMPLOYED, LOW SULFUR DIESEL FUEL SHALL BE USED (0.05 PERCENT BY WEIGHT), HIGH PRESSURE FUEL INJECTORS SHALL BE INSTALLED, HEAVY DUTY DIESEL-POWERED CONSTRUCTION EQUIPMENT MANUFACTURED AFTER 1996 (WITH FEDERALLY MANDATED 'CLEAN' DIESEL ENGINES) SHOULD BE UTILIZED WHENEVER FEASIBLE, CATALYTIC CONVERTERS SHALL BE INSTALLED IF AVAILABLE, DIESEL PARTICULATE EMISSIONS SHALL BE REDUCED USING EPA OR CALIFORNIA CERTIFIED AND/OR VERIFIED CONTROL TECHNOLOGIES LIKE PARTICULATE TRAPS AND DIESEL POWERED EQUIPMENT SHOULD BE REPLACED BY ELECTRIC EQUIPMENT WHENEVER FEASIBLE.
- FOR EMISSIONS REDUCTIONS FROM GASOLINE CONSTRUCTION EQUIPMENT, ENGINES SHALL BE TURNED OFF WHEN NOT IN USE FOR MORE THAN FIVE MINUTES AND INSTALL CATALYTIC CONVERTERS ON ALL GASOLINE POWERED ENGINES.
- ALL MATERIAL EXCAVATED OR GRADED SHALL BE SUFFICIENTLY WATERED TO PREVENT EXCESSIVE AMOUNTS OF DUST. WATERING SHALL OCCUR AT LEAST TWICE DAILY WITH COMPLETE COVERAGE, PREFERABLE IN THE LATE MORNING AND AFTER WORK IS COMPLETE FOR THE DAY.
- ALL CLEARING, GRADING, EARTH MOVING, OR EXCAVATION ACTIVITIES SHALL CEASE DURING PERIODS OF HIGH WINDS (GREATER THAN 20 MPH AVERAGED OVER ONE HOUR).
- ALL MATERIAL TRANSPORTED OFF-SITE SHALL BE SECURELY COVERED.
- GRAVEL PADS SHALL BE INSTALLED AT ALL ACCESS POINTS TO PREVENT TRACKING OF MUD ONTO PUBLIC ROADS.
- THE AREA DISTURBED BY CLEARING, GRADING, EARTH MOVING, OR EXCAVATION OPERATIONS SHALL BE MINIMIZED.
- ALL INACTIVE PORTIONS OF THE CONSTRUCTION SITE SHALL BE SEEDED AND WATERED UNTIL GRASS COVER IS ESTABLISHED OR APPROPRIATE SOIL BINDERS SHALL BE APPLIED.
- ALL ACTIVE PORTIONS OF THE CONSTRUCTION SITE SHALL BE SUFFICIENTLY WATERED.
- ON-SITE VEHICLE SPEED SHALL BE LIMITED TO 15 MPH.
- ALL UNPAVED VEHICLE TRAFFIC AREAS SHALL BE WATERED PERIODICALLY.
- STREETS ADJACENT TO THE PROJECT SITE SHALL BE SWEEP AS NEEDED TO REMOVE SILT THAT MAY ACCUMULATE FROM CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR OR BUILDER SHALL DESIGNATE A PERSON OR PERSONS TO MONITOR THE DUST CONTROL PROGRAM AND TO ORDER INCREASED WATERING, AS NECESSARY, TO PREVENT TRANSPORT OF DUST OFFSITE. THEIR DUTIES SHALL INCLUDE HOLIDAY AND WEEKEND PERIODS WHEN WORK MAY NOT BE IN PROGRESS. THE NAME AND TELEPHONE NUMBER OF SUCH PERSONS SHALL BE PROVIDED TO THE AIR POLLUTION CONTROL DISTRICT AND THE CITY OF SANTA MARIA COMMUNITY DEVELOPMENT DEPARTMENT PRIOR TO LAND USE CLEARANCE FOR MAP RECORDATION AND LAND USE CLEARANCE FOR FINISH GRADING FOR THE STRUCTURE(S).
- IF DURING CONSTRUCTION OF THE PROJECT SOIL CONTAMINATION IS UNCOVERED, CONSTRUCTION IN THE AREA SHALL STOP. A DETAILED SOIL TESTING SHALL BE CONDUCTED AND A REPORT SHALL BE PREPARED THAT IDENTIFIES THE EXTENT OF THE SOIL CONTAMINATION AND THE APPROPRIATE REMEDIATION TECHNIQUES. THE SANTA BARBARA COUNTY FIRE DEPARTMENT (PROTECTION SERVICES DIVISION) SHALL BE CONTACTED AND A SOILS REPORT SHALL BE SUBMITTED AND REVIEWED, AND THE SITE REMEDIATED, BEFORE CONSTRUCTION CAN RESUME.
- DIRT HAULING ROUTES SHALL BE ORIENTED AWAY FROM PROPERTY BOUNDARIES THAT ABUT SENSITIVE LAND USES.
- ALL CONSTRUCTION EQUIPMENT SHALL BE IN PROPER OPERATING CONDITION AND FITTED WITH FACTORY STANDARD SILENCING FEATURES.

## SCOPE OF WORK

SITE WORK RELATED TO A WEYRICK LUMBER GRADING PROJECT.  
IMPROVEMENTS INCLUDE: FLATWORK GRADING, BASINS, RAMP TO BASIN, RETAINING WALL, CATCH BASIN AND STORM DRAIN.

# GRADING PLANS FOR WEYRICK LUMBER BASIN GRADING WHITE COURT, SANTA MARIA, CA

## INDEX

SHEET #	SHEET DESCRIPTION
1.	TITLE SHEET
2.	GRADING SHEET
3.	EROSION CONTROL

## LEGEND

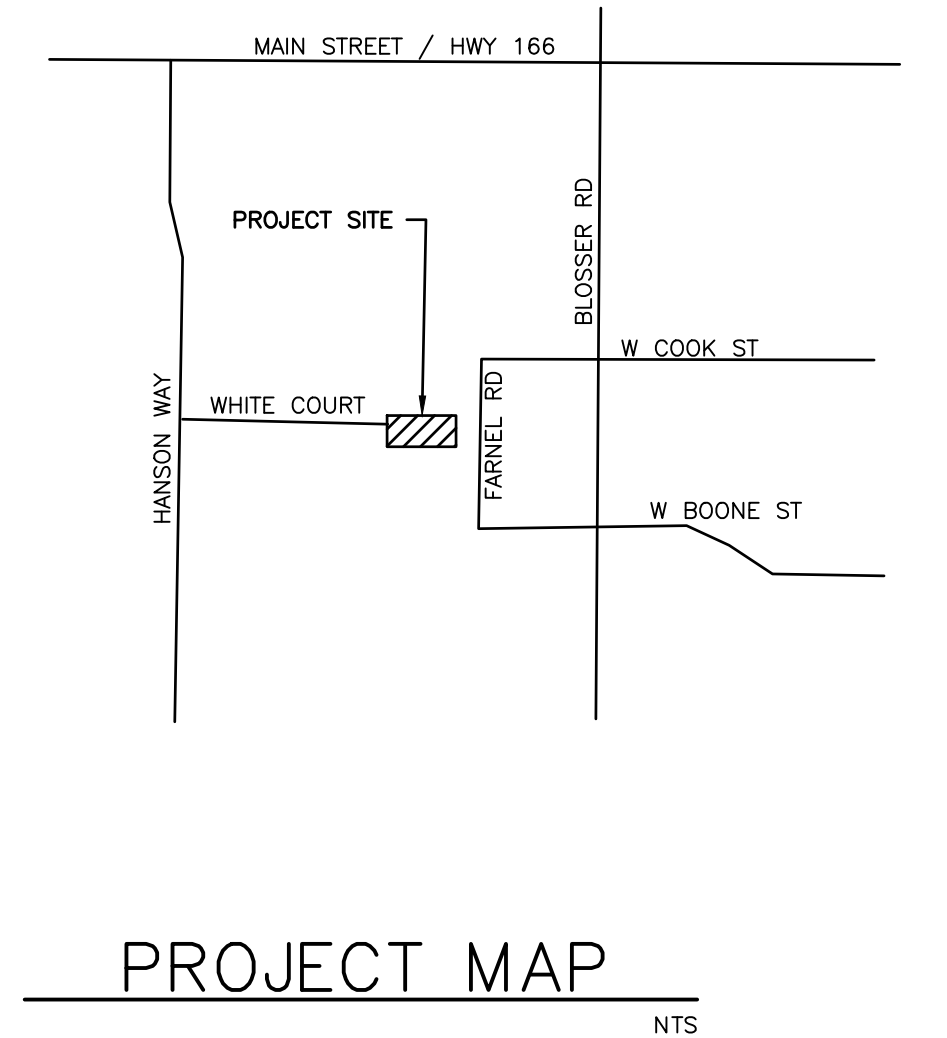
FUTURE CONST. PROJECT BOUNDARY CENTERLINE PROPERTY LINE CURB LINE EXIST. CURB LINE ROW/EASEMENT LINE STORM DRAIN EXIST. STORM DRAIN SEWER MAIN EXIST. SEWER MAIN WATER MAIN EXIST. WATER MAIN STREET LIGHT CONDUIT EXIST. ST. LT. CONDUIT E.P./LIP OF GUTTER WOOD FENCE WALL W/ WOOD INSERTS MASONRY WALL	
2:1 SLOPE 4:1 SLOPE	
EXIST. CONTOURS	

SAN. SEWER MANHOLE EXIST. SEWER MANHOLE STORM DRAIN MANHOLE EXIST. S.D. MANHOLE WATER VALVE EXIST WATER VALVE DOUBLE WATER METER STREET LIGHT EXIST. STREET LIGHT FUTURE STREET LIGHT FIRE HYDRANT EXIST. FIRE HYDRANT CATCH BASIN SEWER LATERAL EXIST. SEWER LATERAL SEWER CLEAN OUT	
FINISHED FLOOR ELEV.	

\*NOTE: THESE ARE TYPICAL ABBREVIATIONS, SYMBOLS, AND LEGEND. NOTE ALL MAY APPEAR ON PLAN.

## U.S.A. DIG NOTE

SECTION 4216/4217 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER, CALL UNDERGROUND SERVICE ALERT TOLL FREE 1-800-227-2600 TWO WORKING DAYS BEFORE YOU DIG.



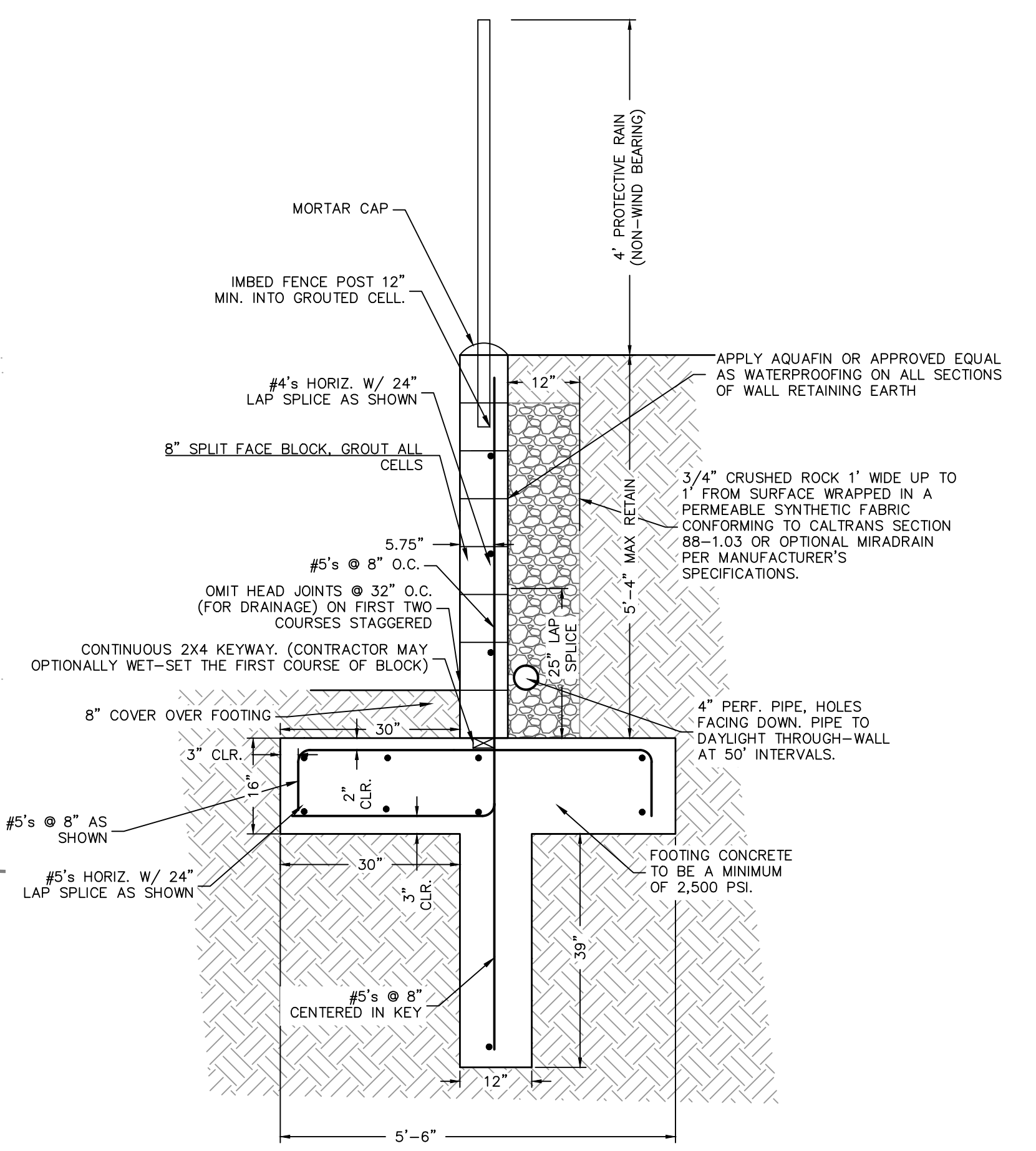
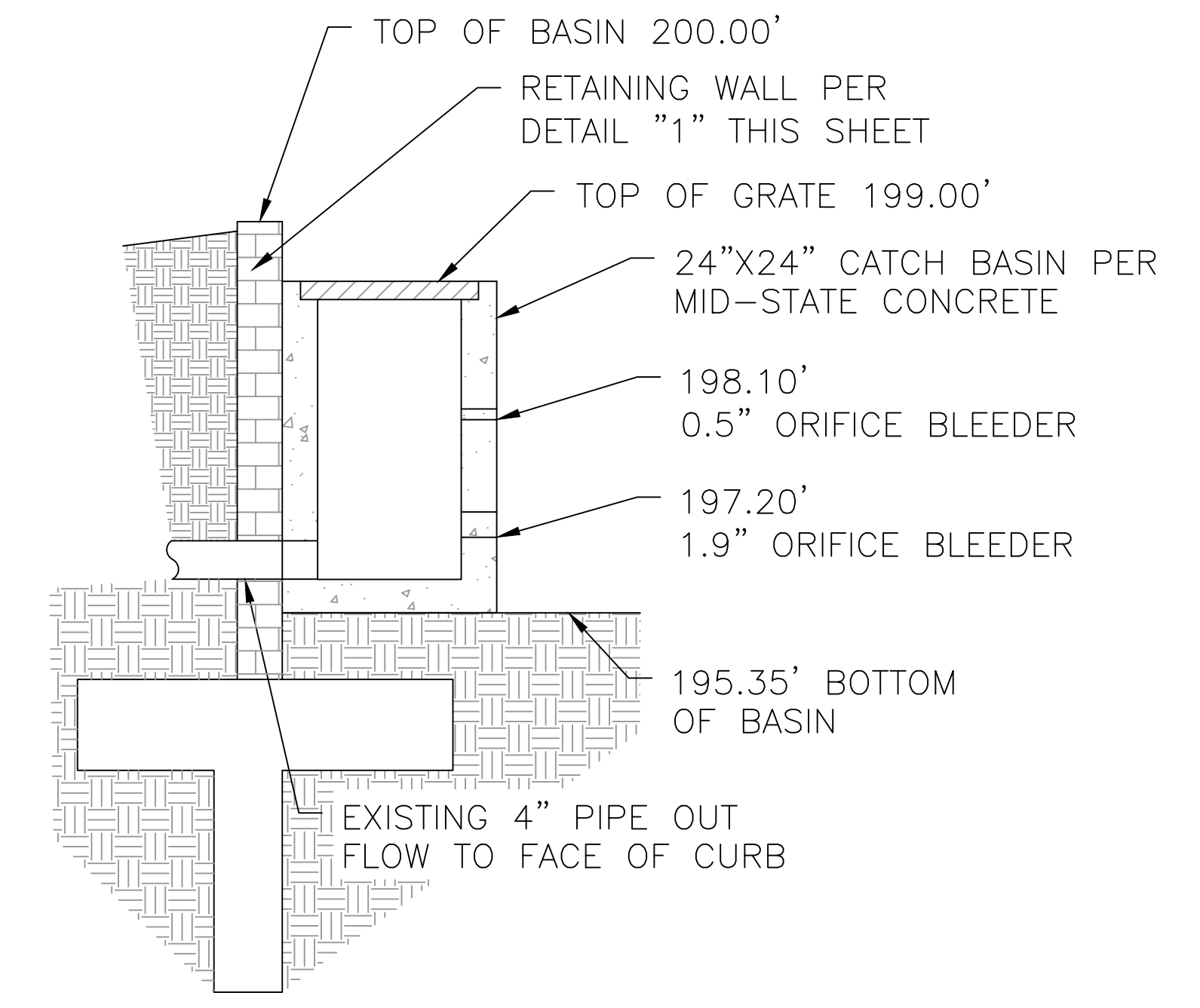
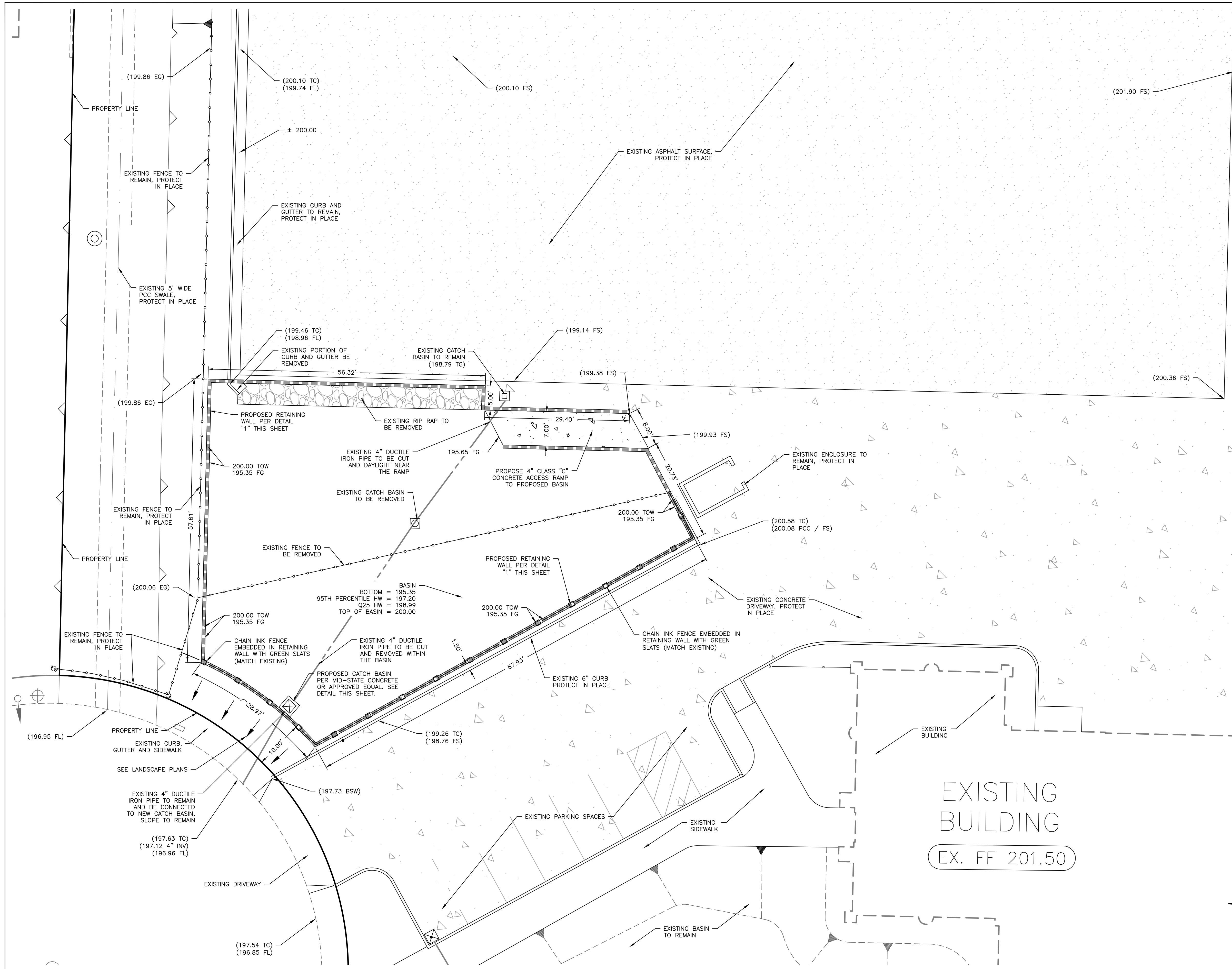
11/14/2024



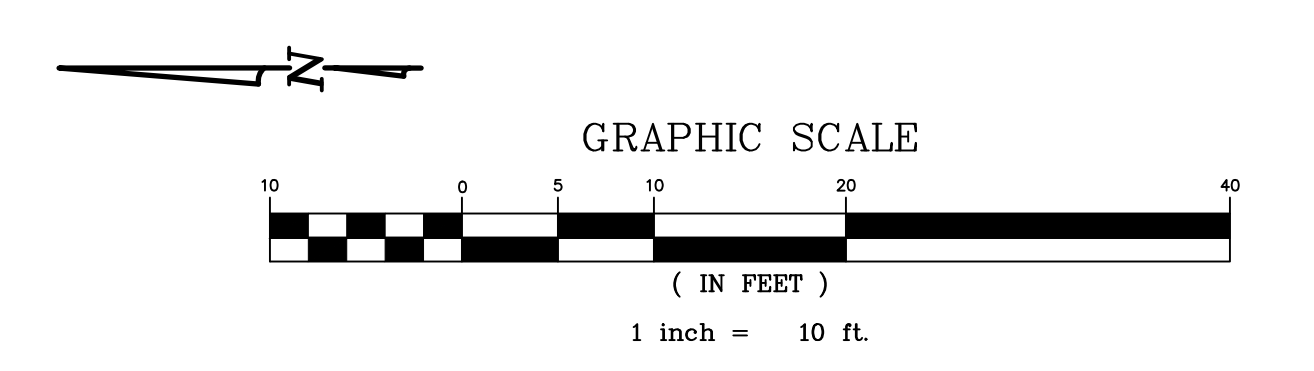
Russell J. Garrison 11-14-24  
RUSSELL J. GARRISON R.C.E. 59987

REVISIONS				
LETTER	DATE	BY	APPROVED	REVISION
△				
△				
△				
△				

CITY OF SANTA MARIA			DRAWN BY: G.C.	
SCALE	DATE	DAVID T. BEAS	CHECKED BY: R.J.G.	
AS NOTED		RCE 56437	DATE: NOVEMBER, 2024	
WEYRICK LUMBER BASIN GRADING PLAN			SHEET	
TITLE SHEET			1 OF 3	
			REFERENCES	
			FILE NUMBER	

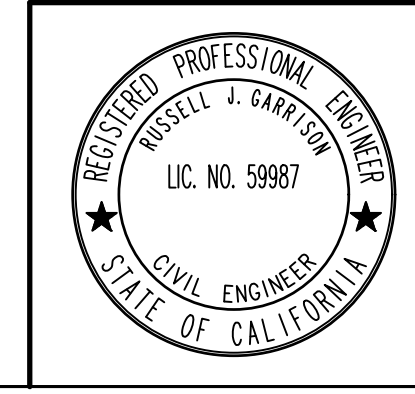


1 5'-4" BASIN RETAINING WALL  
N.T.S.



EXISTING BUILDING  
EX. FF 201.50

11/14/2024

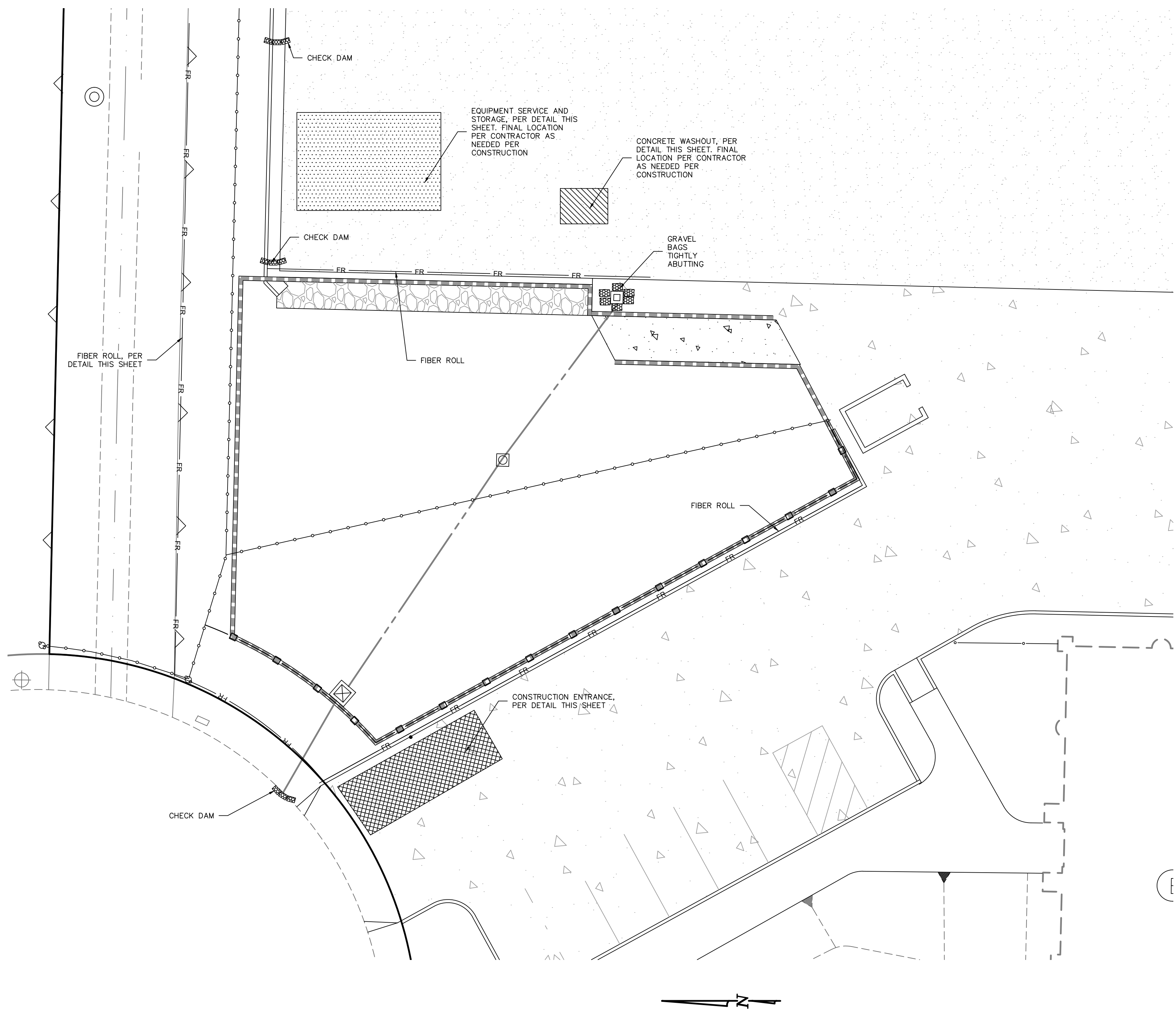


**BETHEL engineering**  
2624 Airport Dr., Santa Maria, California 93455 (805) 934-5767  
Russell J. Garrison R.C.E. 59987 11-1A-2A

REVISIONS					
LETTER	DATE	BY	APPROVED	REVISION	
△					
△					
△					
△					

CITY OF SANTA MARIA  
SCALE AS NOTED DATE DAVID T. BEAS RCE 56437  
WEYRICK LUMBER BASIN GRADING PLAN  
GRADING AND DRAINAGE SHEET

DRAWN BY: G.C.
CHECKED BY: R.J.G.
DATE: NOVEMBER, 2024
SHEET 2 OF 3
REFERENCES
FILE NUMBER



**LEGEND:**

- DIRECTION OF FLOW:
- CONSTRUCTION ENTRANCE AREA:
- EQUIPMENT SERVICE AND STORAGE AREAS:
- CONCRETE WASHOUT AREA:
- FIBER ROLL:
- GRAVEL BAG CHECK DAM:
- GRAVEL BAG:
- STORM CATCH BASIN:

**EROSION/SEDIMENT CONTROL PRACTICES**

CONSTRUCTION ENTRANCE AREAS SHALL BE CONSTRUCTED PRIOR TO IMPORT AND EXPORT OF SOILS. THE ENTRANCE AREAS SHALL BE 6"-8" AGGREGATE PLACED TO A MINIMUM DEPTH OF 12" OVER A GEOTEXTILE FABRIC SUCH AS MIRAFI 500X. INSPECT FOR DAMAGE REGULARLY AND REPAIR AS REQUIRED.

EQUIPMENT STORAGE AND SERVICE AREA TO BE PREPARED PRIOR TO BEGINNING OF GRADING ACTIVITIES.

TEMPORARY CONTROL MEASURES TO REMAIN IN PLACE UNTIL INTERIOR STREETS ARE PAVED AND PERMANENT LANDSCAPING IS ESTABLISHED. EQUIPMENT STORAGE AREA HYDROSEEDED, AND EQUIPMENT SERVICE CLEANED AND HYDROSEEDED.

ALL GRADED SLOPES 4:1 OR STEEPER TO HAVE FIBER ROLLS PLACED AT THE BASE OF THE SLOPE, AND EVERY 50' HORIZONTALLY FOR SLOPES THAT EXCEED 75' HORIZONTALLY. FIBER ROLLS PLACED MID-SLOPE TO BE AT THE SAME ELEVATION ALONG ENTIRE LENGTH OF SLOPE SO AS TO NOT CREATE A DRAINAGE COURSE ALONG THE FIBER ROLLS.

ALL DENUDE SLOPE AREAS TO BE TRACK WALKED WITH TRACKED EQUIPMENT UP AND DOWN THE SLOPE. SLOPES SHALL THEN BE SEED AND COVERED WITH STRAW BLANKET OR HYDROMULCHED AS SOON AS POSSIBLE OR WITHIN 4 WEEKS OF COMPLETION OF CUT & FILL SLOPES.

REASONABLE EFFORTS SHOULD BE MADE TO PRESERVE EXISTING VEGETATION BEFORE SITE DISTURBANCE BEGINS.

DENUDE PERMANENT OPEN SPACE AREAS TO BE COVERED WITH STRAW BLANKET IN CONJUNCTION WITH HYDROSEEDING/HYDROMULCHING.

**DUST CONTROL MEASURES**

DURING CLEARING, GRADING, EARTH MOVING, EXCAVATION, OR TRANSPORTATION OF CUT OR FILL MATERIALS, WATER TRUCKS OR SPRINKLER SYSTEMS ARE TO BE USED TO PREVENT DUST FROM LEAVING THE SITE AND TO CREATE A CRUST AFTER EACH DAY'S ACTIVITIES CEASE.

AFTER CLEARING, GRADING, EARTHMOVING OR EXCAVATION IS COMPLETED, THE ENTIRE AREA OF DISTURBED SOIL SHALL BE TREATED IMMEDIATELY BY WATERING OR REVEGETATING OR SPREADING SOIL BINDERS TO PREVENT WIND PICKUP OF THE SOIL UNTIL THE AREA IS PAVED OR OTHERWISE DEVELOPED SO THAT DUST GENERATION WILL NOT OCCUR.

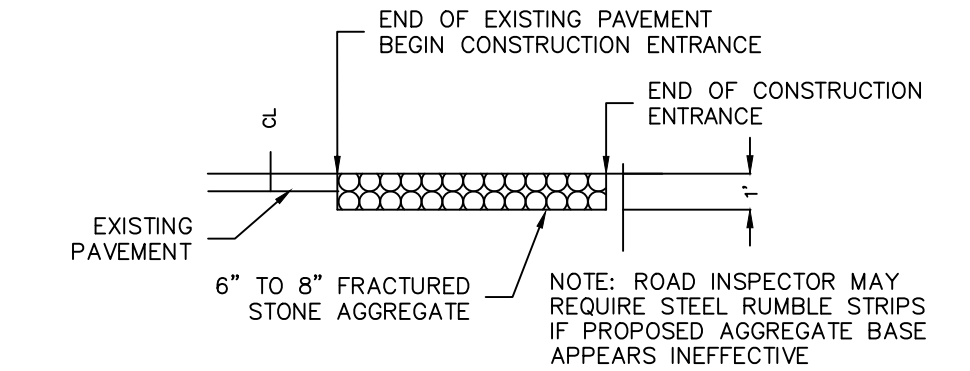
DURING CONSTRUCTION, WATER TRUCKS OR SPRINKLER SYSTEMS SHALL BE USED TO KEEP ALL AREAS OF VEHICLE MOVEMENT DAMP ENOUGH TO PREVENT DUST FROM LEAVING THE SITE. AT A MINIMUM, THIS WOULD INCLUDE WETTING DOWN SUCH AREA IN THE LATER MORNING AND AFTER WORK IS COMPLETED FOR THE DAY AND WHENEVER WIND EXCEEDS 15 MILES PER HOUR.

ALL AREAS NOT PROPOSED FOR IMMEDIATE DEVELOPMENT ( E.G. WITHIN TWO WEEKS) SHALL BE SEEDDED OR TREATED WITH SOIL BINDERS TO PREVENT SOIL EROSION OR DUST GENERATION.

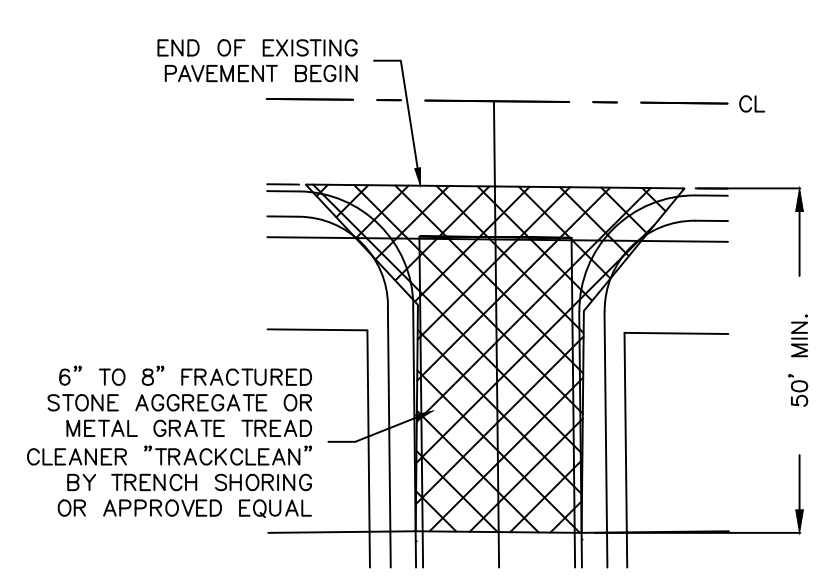
SOIL STOCKPILED FOR MORE THAN TWO DAYS SHALL BE COVERED, KEPT MOIST, OR TREATED WITH SOIL BINDERS TO PREVENT DUST GENERATION.

TRUCKS TRANSPORTING SOIL, SAND, CUT OR FILL MATERIALS TO OR FROM THE SITE SHALL BE TARPED FROM THE POINT OF ORIGIN.

THE CONTRACTOR OR BUILDER SHALL DESIGNATE A PERSON OR PERSONS TO MONITOR THE DUST CONTROL PROGRAM AND TO ORDER INCREASED WATERING AS NECESSARY, TO PREVENT TRANSPORT OF DUST OFF-SITE. THEIR DUTIES SHALL INCLUDE HOLIDAY AND WEEKEND PERIODS WHEN WORK MAY NOT BE IN PROGRESS.

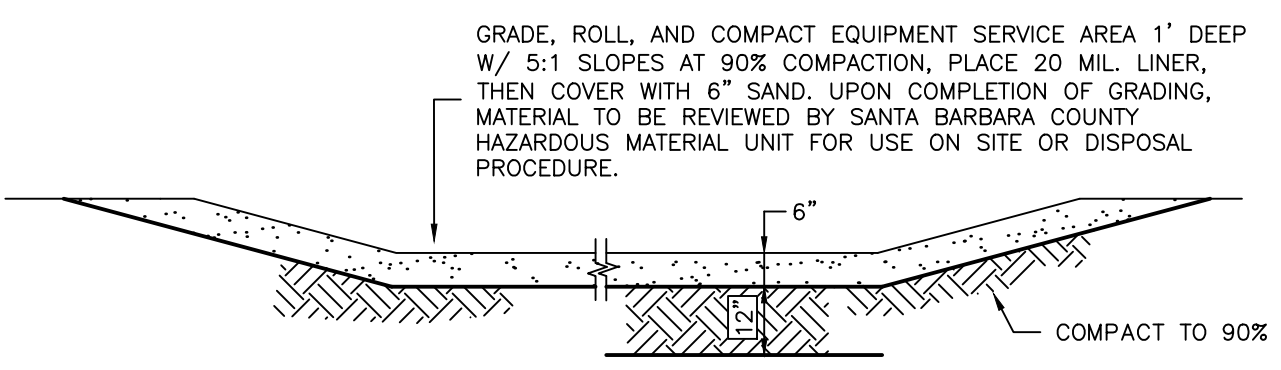


**CONSTRUCTION ENTRANCE SECTION**  
N.T.S.

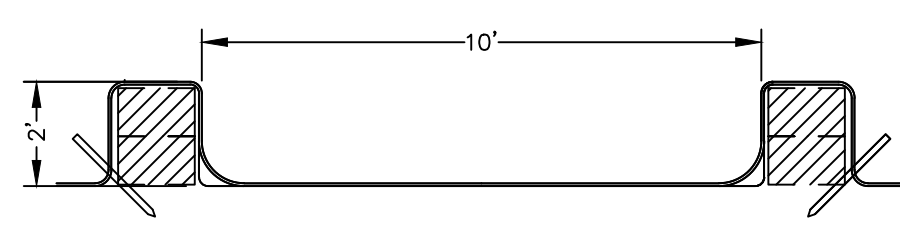


**CONSTRUCTION ENTRANCE PLAN VIEW**  
N.T.S.

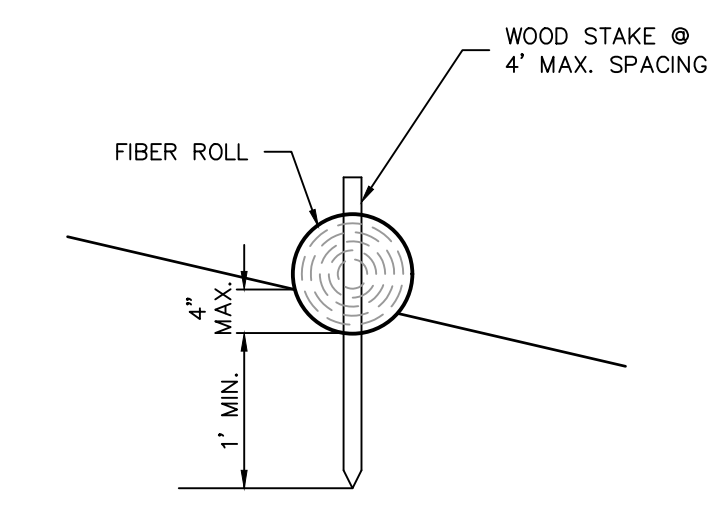
**CONSTRUCTION ENTRANCE DETAILS SHOWN FOR REFERENCE ONLY. CONSTRUCTION ENTRANCE PER TC-1 IN SWPPP BINDER**



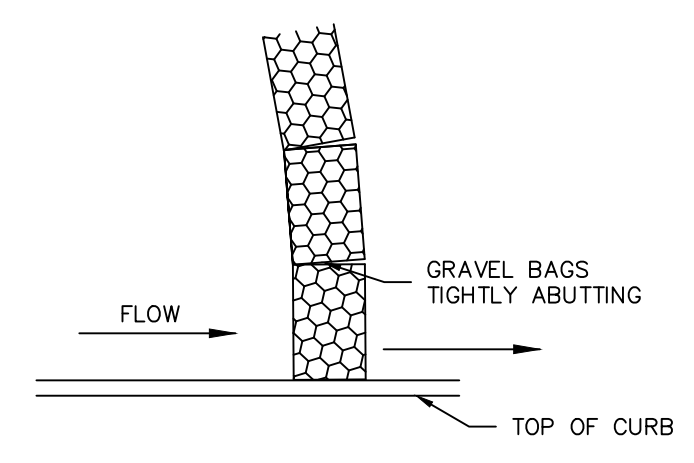
**EQUIPMENT SERVICE, STORAGE, & WASH AREA SECTION**  
N.T.S.



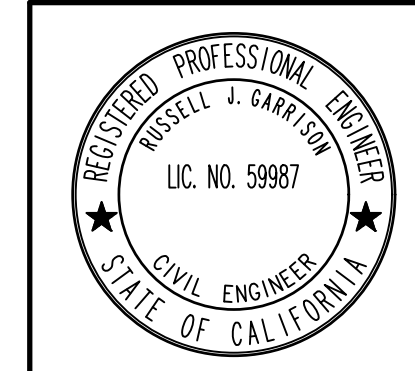
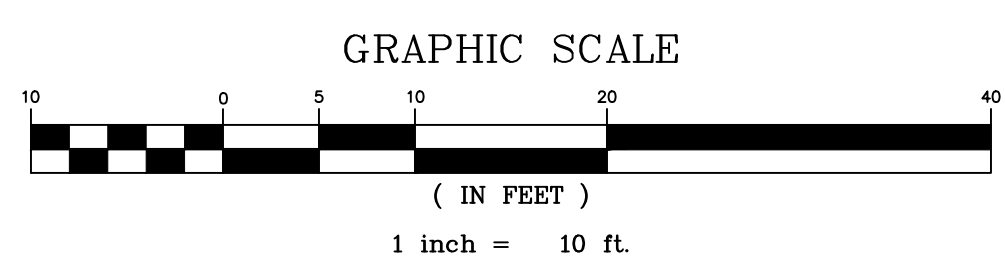
**CONCRETE WASHOUT-SECTION**  
N.T.S.



**FIBER ROLL INSTALLATION**  
N.T.S.



**GRAVEL BAG CHECK DAM**  
N.T.S.



**BETHEL engineering**  
2624 Airpark Dr., Santa Maria, California 93455 (805) 934-5767  
Russell J. Garrison R.C.E. 59987 11-1A-2A

REVISIONS				
LETTER	DATE	BY	APPROVED	REVISION
△				
△				
△				
△				

**CITY OF SANTA MARIA**

SCALE AS NOTED DATE DAVID T. BEAS RCE 56437

**WEYRICK LUMBER BASIN GRADING PLAN**  
**EROSION CONTROL PLAN SHEET**

DRAWN BY: G.C.
CHECKED BY: R.J.G.
DATE: NOVEMBER, 2024
SHEET 3 OF 3
REFERENCES
FILE NUMBER

# WEYRICK LUMBER POLE BARN

1306 WHITE COURT  
SANTA MARIA, CA 93455

## LANDSCAPE & IRRIGATION PLANS

### CONTACT LIST

**OWNER**  
URBAN PLANNING CONCEPTS  
2624 AIRPARK DRIVE  
SANTA MARIA, CA 93455  
P: 805.934.5760  
C: JASON TAMURA

**CIVIL ENGINEER**  
BETHEL ENGINEERING  
2624 AIRPARK DRIVE  
SANTA MARIA, CA 93455  
P: 805.934.5767  
C: RUSSEL GARRISON

**LANDSCAPE ARCHITECT**  
PLEINAIRE DESIGN GROUP  
3203 LIGHTNING STREET, SUITE 201  
SANTA MARIA, CALIFORNIA 93455  
P: 805.349.9695  
C: KEVIN J. SMALL

### PUBLIC AGENCIES

**CITY OF SANTA MARIA**  
COMMUNITY DEVELOPMENT DEPARTMENT  
110 SOUTH PINE STREET, SUITE 101  
SANTA MARIA, CA 93458  
P: 805.925.0951 EXT. 2244  
C: CONTACT

### SPECIAL INSPECTIONS

**SPECIAL INSPECTIONS REQUIRED FOR CERTIFICATION OF COMPLIANCE WITH LOCAL MWEO CODE AND OR DEPARTMENT OF WATER RESOURCES CHAPTER 2.7 ss 490 - ss 493.2 MODEL WATER EFFICIENT LANDSCAPE ORDINANCE.**

- SOILS TEST AMENDMENT RECOMMENDATIONS
- MAINLINE INSTALLATION AND PRESSURE TEST
- IRRIGATION OPERATION PRIOR TO PLANTING AND BARK COVERAGE
- PLANT APPROVAL
- PLANT PLACEMENT
- COMPLETION PUNCH LIST
- CLOSE OUT DOCUMENTS

FAILURE TO REQUEST THE REQUIRED INSPECTIONS SHALL CAUSE THE CONTRACTOR TO ASSUME ALL LIABILITY FOR CORRECTIONS, REPLACEMENTS AND RETROFITS TO BRING THE LANDSCAPE INSTALLATION INTO COMPLIANCE WITH THE ORIGINAL DESIGN AND SPECIFICATIONS; AND BE RESPONSIBLE FOR ANY FINES LEVIED DUE TO NON-COMPLIANCE WITH STATE LAW.

### MWEO COMPLIANCE

I HAVE COMPLIED WITH THE CRITERIA OF THE 2015 UPDATE TO THE STATE DEPARTMENT OF WATER RESOURCES MODEL WATER EFFICIENT LANDSCAPE ORDINANCE, INCLUDING INCORPORATING RECOMMENDATIONS OF THE SOIL ANALYSIS REPORT, AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

*Kevin J. Small*  
DESIGNER SIGNATURE

2025.01.16  
DATE

TOTAL LANDSCAPE AREA: 11,469 SQ. FT. /// LANDSCAPE AREA PERCENTAGE: 15.8%  
MODIFIED LANDSCAPE AREA: 5,092 SQ. FT.

### GENERAL NOTES

- PRIOR TO ANY EXCAVATION CONTRACTOR IS REQUIRED TO CONTACT UNDERGROUND SERVICE, 1.800.422.4133.
- THE LANDSCAPE ARCHITECT SHALL REVIEW AND APPROVE ALL PLANT MATERIAL UPON DELIVERY AND THE LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT AT LEAST THREE (3) DAYS PRIOR TO ALL REQUIRED OBSERVATIONS BY LANDSCAPE ARCHITECT.
- IF THERE IS A CONFLICT WITH LAYOUT IN THE FIELD, NOTIFY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- NEW BACKFLOW DEVICE MUST BE LOCATED IN A SHRUBBERY AREA AND ADEQUATELY SCREENED FROM VIEW PER CITY OF SANTA MARIA REQUIREMENTS.
- PROVIDE AND INSTALL ALL PLANTING AND IRRIGATION IN CONFORMANCE WITH THE CITY OF SANTA MARIA LANDSCAPE STANDARDS. IN THE EVENT OF CONFLICT BETWEEN NOTES OR DETAILS ON THESE DOCUMENTS, THE STANDARDS SHALL TAKE PRECEDENCE. TO OBTAIN STANDARDS BEFORE BIDDING, CALL 805.925.0951.
- THE WRITTEN SPECIFICATIONS ARE AN INTEGRAL PART OF THIS PROJECT. CONTRACTOR IS TO REFER TO THE WRITTEN SPECIFICATION FOR SPECIFICS OF CONSTRUCTION.
- POINT OF CONNECTION FOR WATER SUPPLY SHALL BE AN EXISTING OR NEW DEDICATED LANDSCAPE WATER METER.
- CONTRACTOR SHALL PROVIDE COMPLETE SUBMITTAL DOCUMENTS FOR REVIEW AND APPROVAL 30 DAYS PRIOR TO BEGINNING WORK.
- THE FINAL LOCATIONS OF STREET TREES SHALL BE DETERMINED ON-SITE BY THE SPECIAL DISTRICTS SUPERVISOR. TWENTY-FOUR HOUR NOTICE IS REQUIRED FOR INSPECTION PRIOR TO PLANTING, 805.925.0951 x 2346. INSTALLATION SHALL BE IN ACCORDANCE WITH RECREATION AND PARKS DEPARTMENT SPECIFICATIONS.

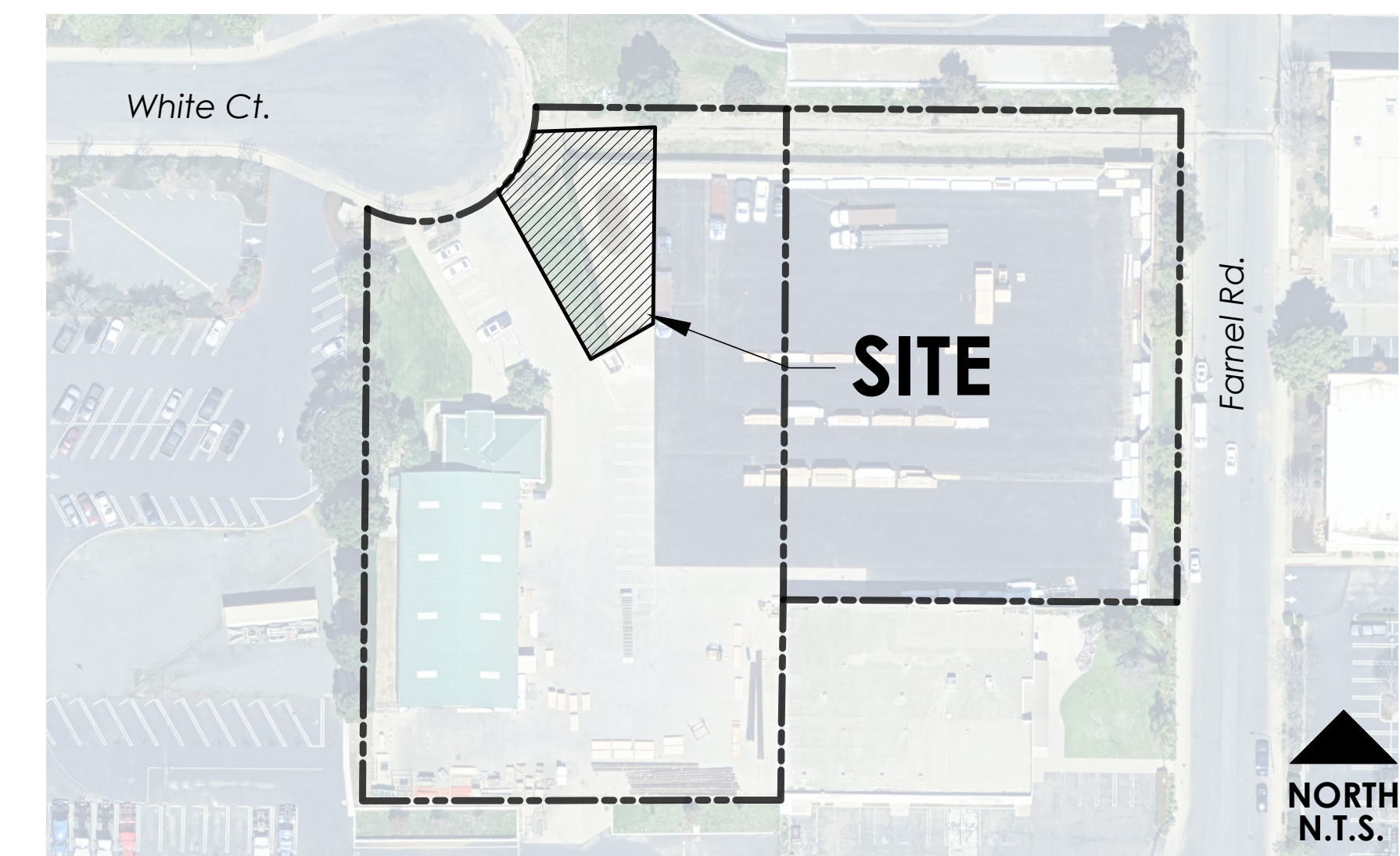
### SHEET LEGEND

L-0.0	COVER SHEET
L-1.0	NOT A PART
L-1.1	NOT A PART
L-1.2	NOT A PART
L-1.3	NOT A PART
L-2.0	PLANTING PLAN
L-2.1	PLANTING NOTES AND DETAILS
L-3.0	IRRIGATION SPECIFICATIONS
L-3.1	PLANTING SPECIFICATIONS
L-3.2	MAINTENANCE SPECIFICATIONS

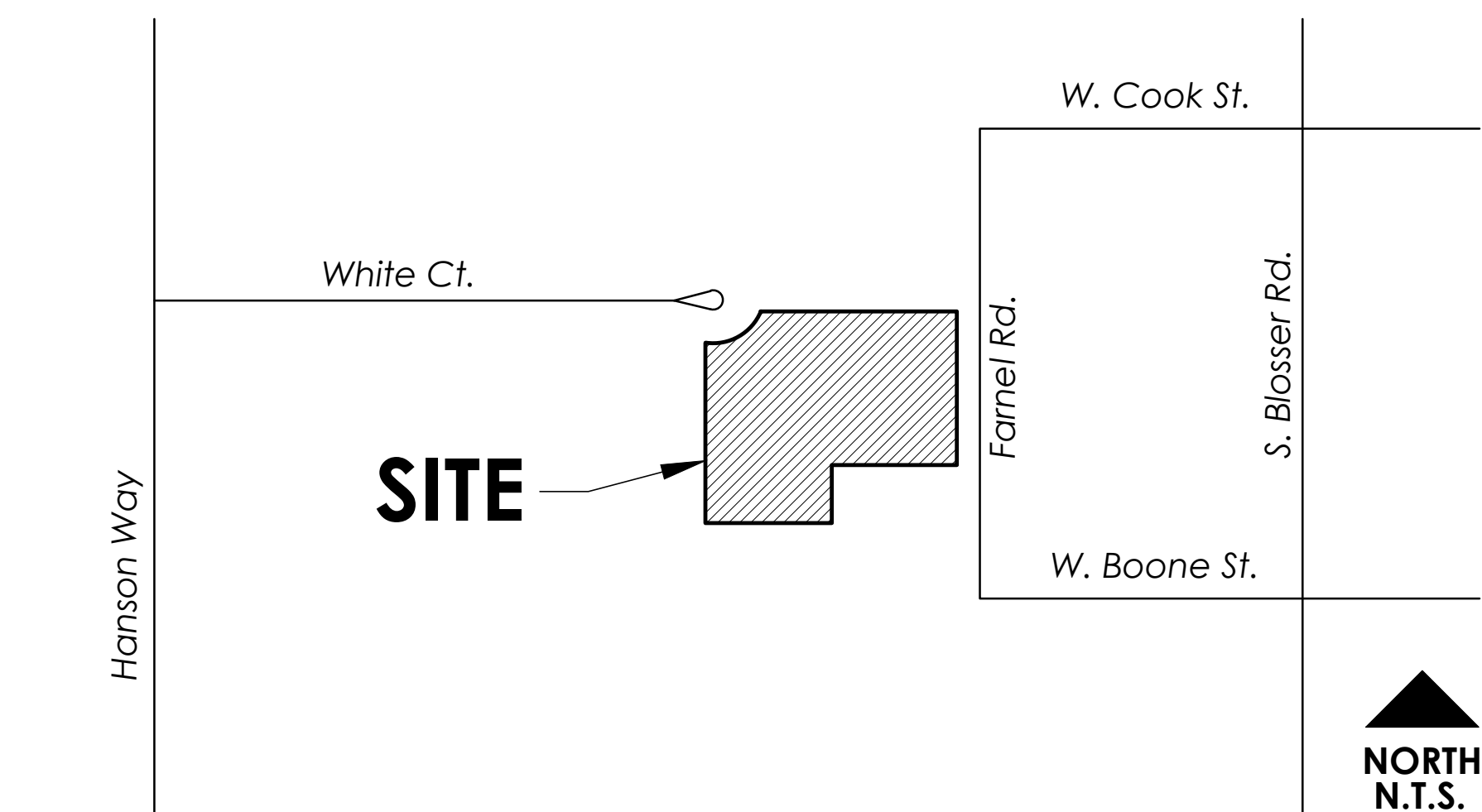
### REVISION DATES

REV.	DATE	BY	APPROVED	COMMENTS

### SITE MAP

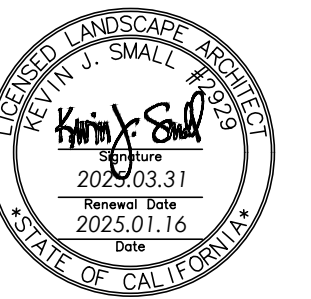


### LOCATION MAP



PLEINAIRE  
DESIGN GROUP

3203 Lightning St., Ste. 201 // Santa Maria, CA 93455  
805.349.9695 // www.pleinairedg.com



THE DRAWING, DESIGN IDEAS, AND FEATURES OF CONSTRUCTION DEPICTED WITHIN THE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF KEVIN J. SMALL, LANDSCAPE ARCHITECT. THEY ARE NOT TO BE REUSED, REPRODUCED, COPIED, SOLD, OR USED FOR ANY OTHER PURPOSE WITHOUT THE EXPRESSED WRITTEN CONSENT OF KEVIN J. SMALL; R/LA 2025. © 2024 KEVIN J. SMALL.

WEYRICK LUMBER POLE BARN

1306 WHITE COURT // SANTA MARIA, CA

REVISION DATE

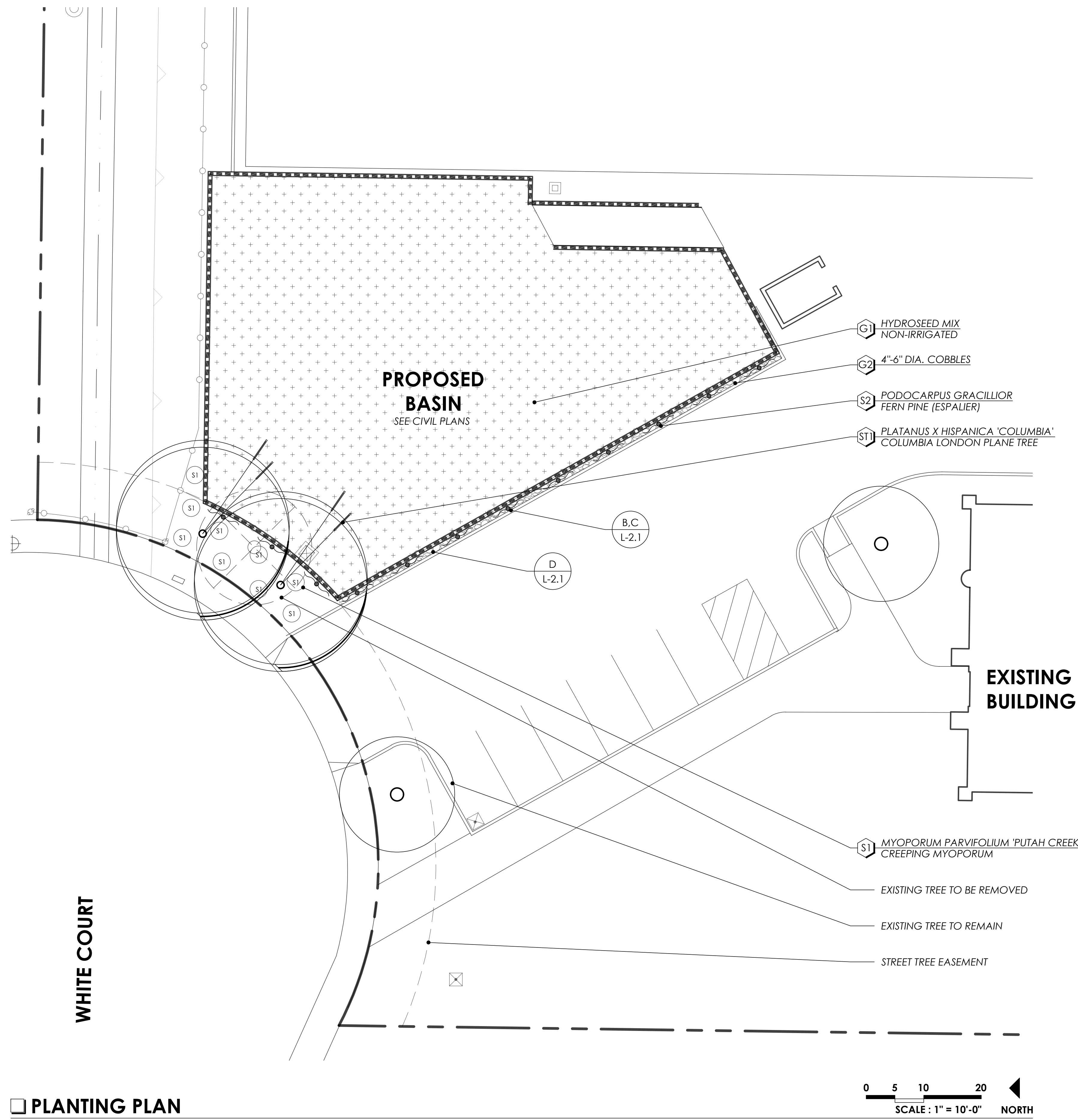
SHEET TITLE

**LANDSCAPE  
COVERSHEET**

**OWNER** Urban Planning Concepts  
2624 Airpark Drive  
Santa Maria, California 93455

**DATE** 2025.01.16  
**PROJECT NO.** 22451  
**DRAWN BY** E.B.  
**CHECKED BY** K.J.S.  
**SHEET NO.**

**L-0.0**



- G1 HYDROSEED MIX NON-IRRIGATED
- G2 4"-6" DIA. COBBLES
- S2 PODOCARPUS GRACILIOR FERN PINE (ESPALIER)
- ST1 PLATANUS X HISPANICA 'COLUMBIA' COLUMBIA LONDON PLANE TREE

- S1 MYOPORUM PARVIFOLIUM 'PUTAH CREEK' CREEPING MYOPORUM
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN
- STREET TREE EASEMENT

## PLANT LEGEND

### STREET TREES

SYMBOL	NAME	COMMENTS	SIZE	WUCOLS	QTY.
ST1	PLATANUS X HISPANICA 'COLUMBIA' COLUMBIA LONDON PLANE TREE	PLANT PER DETAIL A/L-2.1	24" BOX	MEDIUM	2

### SHRUBS

SYMBOL	NAME	COMMENTS	SIZE	WUCOLS	QTY.
S1	MYOPORUM PARVIFOLIUM 'PUTAH CREEK' CREEPING MYOPORUM	PLANT PER DETAIL C/L-2.1	5 GAL.	LOW	9
S2	PODOCARPUS GRACILIOR FERN PINE (ESPALIER)	PLANT PER DETAIL B,C/L-2.1 SEE PLANTING LEGEND NOTE 12 L-2.1	15 GAL. 4X4 TRELIS	MEDIUM	12

### GROUNDCOVERS

SYMBOL	NAME	COMMENTS	SIZE	WUCOLS	QTY.
G1	COBBLES WITH WEED BARRIER	PER DETAIL D/L-2.1	4"-6"	N/A	80 S.F.
G2	HYDROSEED MIX NON-IRRIGATED	SEE CUT SHEET ON L-2.1		N/A	4,691 S.F.

### IRRIGATION NOTES

- CONTRACTOR TO PROTECT EXISTING IRRIGATION POINT OF CONNECTION TO EXISTING LANDSCAPE.
- CONTRACTOR TO PROVIDE DESIGN BUILD MWELO COMPLIANT DRIP IRRIGATION TO NEW PLANTING FROM EXISTING SYSTEM.
- LANDSCAPE ARCHITECT TO REVIEW AND APPROVE FINAL INSTALLATION.
- CONTRACTOR TO VERIFY CURRENT CERTIFICATION OF IRRIGATION BACKFLOW, CONTROLLER AND RAIN SHUTOFF FOR MWELO COMPLIANCE.

**CITY OF SANTA MARIA**  
**WATER EFFICIENT LANDSCAPE WORKSHEET (FOR AREA OF WORK ONLY)**  
PLANNING DIVISION • 110 SOUTH PINE STREET ROOM 101 • SANTA MARIA, CA 93458 • 805.925.0951 X 244

City of Santa Maria Reference Evapotranspiration (Eto): 47.4  
Project: Weyrick Lumber

Hydrozone # /Planting Description a	Plant Factor (PF)	Irrigation Method b	Irrigation Efficiency (IE)c	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Water Use (ETWU) e	Total
<b>Regular Landscape Areas</b>								
Very Low	0.1	drip	0.81	0.12	-	-	-	-
Low	0.2	drip	0.81	0.25	-	-	-	-
Low	0.3	drip	0.81	0.37	315.00	116.67	3,428.60	-
Medium	0.5	drip	0.81	0.62	50.00	30.86	907.04	-
Non-irrigated	0		0.81	0.00	4,727.00	-	-	-
					<b>Totals</b>	5,092.00	147.53	4,335.64
<b>Special Landscape Areas</b>								
Turf				1	-	-	-	-
					<b>Totals</b>	-	-	-
						<b>ETWU Total</b>	<b>4,335.64</b>	
<b>Maximum Allowed Water Allowance (MAWA):</b>							<b>67,339.66</b>	

**a Hydrozone #/Planting Description**  
E.g. 1.) front lawn  
2.) medium water use planting

**b Irrigation Method**  
overhead spray or drip

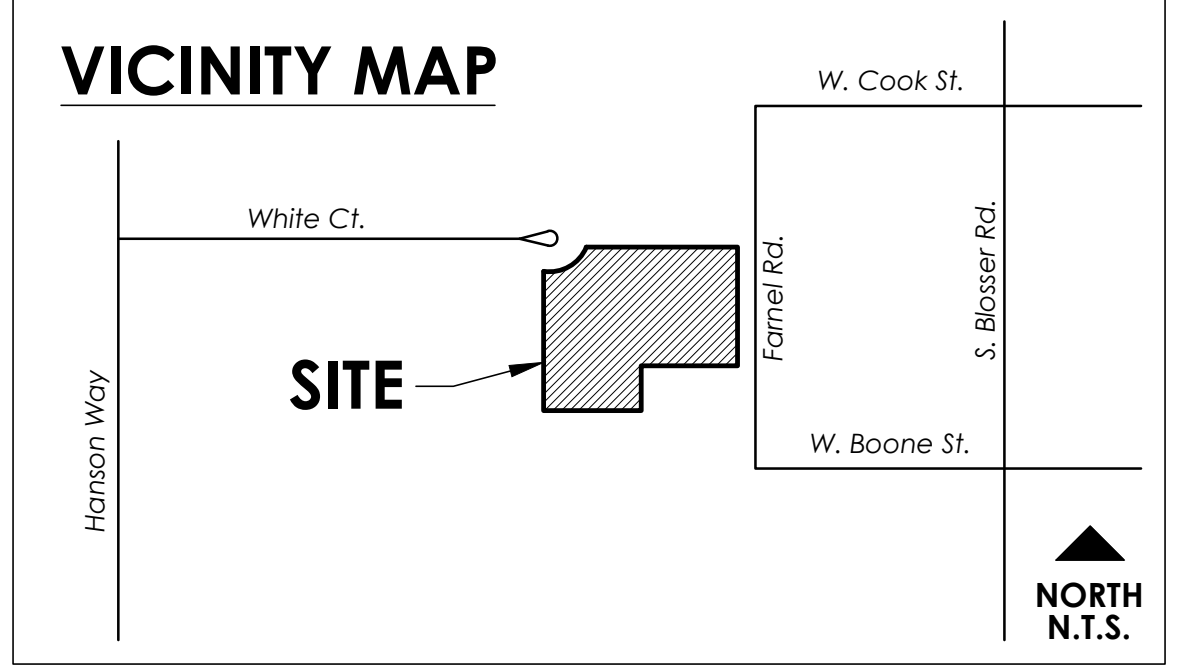
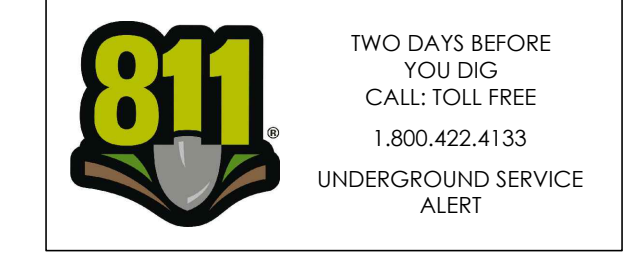
**c Irrigation Efficiency**  
0.75 for spray head  
0.81 for drip

**d ETWU (Annual Gallons Required)**  
= Eto x 0.62 x ETAF x Area  
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.

**e MAWA (Annual Gallons Allowed)**  
= (Eto) ( 0.62) [( ETAF x LA) + ((1-ETAF) x SLA)]  
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

**ETAF Calculations:**  
Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

All Landscape Areas		Regular	
Total ETAF x Area (B+D)	147.53	Total ETAF x Area (B)	147.53
Total Area (A+C)	5,092.00	Total Area (A)	5,092.00
Sizewise ETAF (B+C) = (B+A)	0.03	Average ETAF (B + A)	0.03



I HAVE COMPLIED WITH THE CRITERIA OF THE 2015 UPDATE TO THE STATE DEPARTMENT OF WATER RESOURCES MODEL WATER EFFICIENT. & I HAVE COMPLIED WITH THE CRITERIA IN THE MWELO AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

*Kevin J. Small*  
DESIGNER'S SIGNATURE

2024.12.06  
DATE

**PLEINAIRE**  
DESIGN GROUP

3203 Lightning St., Ste. 201 // Santa Maria, CA 93455  
805.349.9695 // www.pleinairedg.com

THE DRAWING, DESIGN IDEAS, AND FEATURES OF CONSTRUCTION DEPICTED WITHIN THE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF KEVIN J. SMALL, LANDSCAPE ARCHITECT. THEY ARE NOT TO BE REUSED, REPRODUCED, COPIED, SOLD, OR USED FOR ANY OTHER PURPOSE WITHOUT THE EXPRESSED WRITTEN CONSENT OF KEVIN J. SMALL. RLA 2025. © 2024 KEVIN J. SMALL.

**WEYRICK LUMBER POLE BARN**

1306 WHITE COURT // SANTA MARIA, CA

REVISION DATE

SHEET TITLE

**PLANTING PLAN**

OWNER Urban Planning Concepts  
2624 Airpark Drive  
Santa Maria, California 93455

DATE 2025.01.16  
PROJECT NO. 22451  
DRAWN BY E.B.  
CHECKED BY K.J.S.  
SHEET NO.

**L-2.0**

**CITY OF SANTA MARIA  
CERTIFICATE OF LANDSCAPE  
COMPLETION**

PLANNING DIVISION • 110 SOUTH PINE STREET ROOM 101 • SANTA MARIA, CA 93458 • 805.925.0951 X 244

Project Name: \_\_\_\_\_

Project Address: \_\_\_\_\_

Building Permit Number: \_\_\_\_\_

Project/Tract Number: \_\_\_\_\_

Applicant: \_\_\_\_\_

Applicant's Address: \_\_\_\_\_

Phone No: \_\_\_\_\_ Mobile Phone No: \_\_\_\_\_

Email: \_\_\_\_\_

Property Owner: \_\_\_\_\_

Property Owner's Address: \_\_\_\_\_

Phone No: \_\_\_\_\_ Email: \_\_\_\_\_

Property Owner Authorization:

"I/we certify that I/we have received copies of all the documents within the Landscape Documentation Package and the Certificate of Completion and that it is our responsibility to see that the project is maintained in accordance with the Landscape and Irrigation Maintenance Schedule."

Signature \_\_\_\_\_ Name (printed) \_\_\_\_\_ Date \_\_\_\_\_

**Please provide the dates the following actions occurred:**

Date the Landscape Documentation Package was submitted to the Community Development Department: \_\_\_\_\_

Date the Landscape Documentation Package was approved by the Community Development Department: \_\_\_\_\_

Date that a copy of the Water Efficient Landscape Worksheet was submitted to the Community Development Department: \_\_\_\_\_

1 of 2

**CERTIFICATION OF INSTALLATION ACCORDING TO THE  
LANDSCAPE DOCUMENTATION PACKAGE**

Signer of the landscape design plan, signer of the irrigation plan, or a licensed landscape contractor:

"I/we certify that based upon periodic site observations, the work has been completed in accordance with the ordinance and that the landscape planting and irrigation installation conform with the criteria and specifications of the approved Landscape Documentation Package."

Signature \_\_\_\_\_ Name (printed) \_\_\_\_\_ Date \_\_\_\_\_

Title: \_\_\_\_\_

License No. or Certification No. \_\_\_\_\_

Company: \_\_\_\_\_

Company Address: \_\_\_\_\_

Phone No: \_\_\_\_\_ Mobile Phone No: \_\_\_\_\_

Email: \_\_\_\_\_

**THE FOLLOWING DOCUMENTS MUST BE ATTACHED TO THIS FORM:**

**IRRIGATION SCHEDULING**

Attach parameters for setting the irrigation schedule on controller per ordinance Section 492.10.

**SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE**

Attach schedule of Landscape and Irrigation Maintenance per ordinance Section 492.11.

**LANDSCAPE IRRIGATION AUDIT REPORT**

Attach Landscape Irrigation Audit Report per ordinance Section 492.12.  
(Not Required for Prescriptive Compliance Landscape Projects)

**SOIL MANAGEMENT REPORT**

Attach soil analysis report, if not previously submitted with the Landscape Documentation Package per ordinance Section 492.6. Attach documentation verifying implementation of recommendations from soil analysis report per ordinance Section 492.6.  
(Not Required for Prescriptive Compliance Landscape Projects)

2 of 2

**GENERAL PLANTING NOTES**

- REMOVE ALL DEBRIS, WEEDS, EXCESS MATERIAL AND ROCKS LARGER THAN 3" IN DIAMETER FROM PLANTING AREAS.
- CROSS RIP ALL TURF AND PLANTING AREAS TO A DEPTH OF 12" AND BLEND THE FOLLOWING AMENDMENT INTO THE TILLED SOIL TO A DEPTH OF 6".
  - PER 1000 SQUARE FEET:
    - 6 CUBIC YARDS NITROGEN AND IRON FORTIFIED ORGANIC SOIL AMENDMENT
    - 14 POUNDS 12-12-12 FERTILIZER
    - 15 POUNDS SOIL SULFUR
- EXCAVATE THE PLANTING PITS FOR TREES AND SHRUBS TWICE THE DIAMETER AND TWICE THE DEPTH OF THE ROOT BALL SCARIFY THE SIDES AND BOTTOM OF THE PIT. THE BACKFILL MIX FOR USE AROUND THE ROOT BALL SHALL CONSIST OF THE FOLLOWING:
  - PER CUBIC YARD OF SOIL:
    - 1/3 CUBIC YARD NITROGEN STABILIZED FIR BARK
    - 1 POUND 12-12-12 FERTILIZER
    - 1 1/2 POUNDS IRON SULFATE (20% IRON)
    - 2/3 CUBIC YARD TOPSOIL
  - PLANT TABS SHALL BE AGRIFORM OR APPROVED EQUAL USED AT MANUFACTURER'S RECOMMENDED RATE FOR EACH PLANT SIZE.
- SOIL AMENDMENT AND BACKFILL MIX ARE PROVIDED FOR BIDDING PURPOSES ONLY. THE CONTRACTOR SHALL PROVIDE FOR IN HIS BID FOR A SOIL AGRONOMY REPORT BY AN APPROVED SOIL AGRONOMIST UPON COMPLETION OF THE ROUGH GRADING. ACTUAL SOIL AMENDMENTS AND BACKFILL MIX SHALL BE AS PER SOIL AGRONOMISTS REPORT AND RECOMMENDATIONS.
- FINE PRUNE ALL SPECIMEN TREES AFTER PLANTING UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT.
- ALL SPECIMEN TREES SHALL BE SELECTED AT THE SOURCE BY THE LANDSCAPE ARCHITECT.
- UPON COMPLETION, REMOVE ALL EXTRANEIOUS MATERIAL AND DEBRIS, BROOM AND WASH CLEAN AREA.
- ACTUAL SYMBOLS SHALL HAVE PRIORITY OVER WRITTEN QUANTITIES. CONTRACTOR SHALL VERIFY QUANTITIES AND NOTIFY LANDSCAPE ARCHITECT OF DISCREPANCIES.
- ALL PLANT MATERIAL, COLOR, SIZE AND QUANTITIES ARE TO BE VERIFIED WITH OWNER.
- ALL SUBSTITUTIONS SHALL BE APPROVED BY LANDSCAPE ARCHITECT AND OWNER, PRIOR TO INSTALLATION.
- ALL FLOW LINES ESTABLISHED BY GRADING PLAN SHALL BE MAINTAINED BY FINISH GRADING. MAINTAIN 1.5% MINIMUM FLOW IN ALL PLANTER AREAS.

**SOIL AGRONOMY TEST REQUIRED. SAMPLE  
TO BE TAKEN AFTER SITE GRADING IS  
COMPLETE. REFER TO SPECIAL  
INSPECTIONS ON COVERSHEET**



**BASIC NATIVE EROSION CONTROL MIX**

This mix of annual native California species has been formulated for rapid growth in the lower rainfall climates and varied soil types of Central and Southern California. For this reason, it is the best choice for permanent or temporary cover in areas that may not support perennial natives without the addition of irrigation or soil amendments. These seeds are adapted to our climates and plant communities and can be used around sensitive native habitat and in conjunction with other species, including wildflowers, without the fear of native gene contamination.

SPECIES	COMMON NAME	BULK #s/ACRE	MIN % PLS*
<i>Bromus carinatus</i> 'Cocamonga'	Cocamonga bromc	20.00	86
<i>Festuca microstachys</i>	Small fescue	8.00	90
<i>Trifolium ciliatum</i>	Foothill/Tree clover	4.00	86
		32.00	

\* MIN % PLS (Pure Live Seed) = Seed Purity x Germination Rate

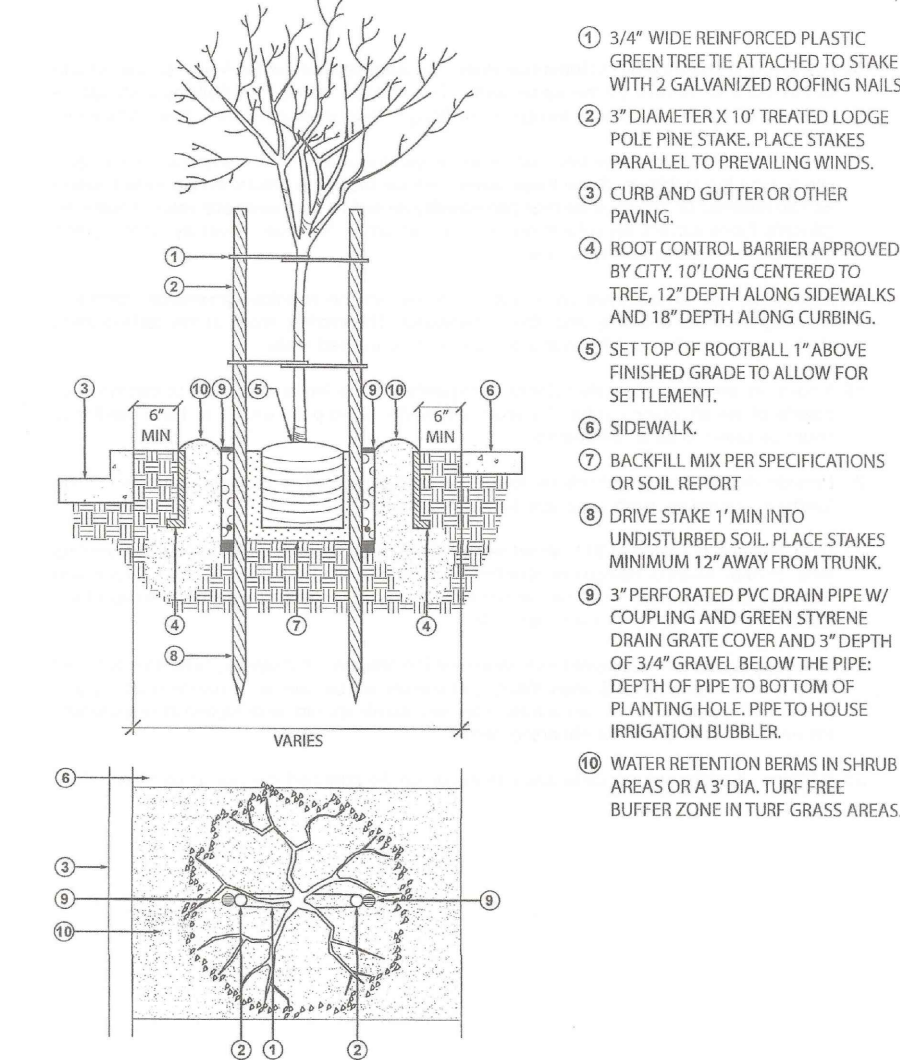
Seed: 32 lbs per acre  
Height: 24-36 inches  
Emergence: 10-15 days  
Establishment: 45 days to 90% cover after emergence

For additional plant characteristics visit the plant database portion of our website at [www.sseeds.com](http://www.sseeds.com).

PO BOX 1275 CARPINTERIA, CA 93014 USA \* PH: 805/684-0436 \* FAX: 805/684-2798  
E-MAIL: INFO@SSSEEDS.COM WEBSITE: WWW.SSEEDS.COM

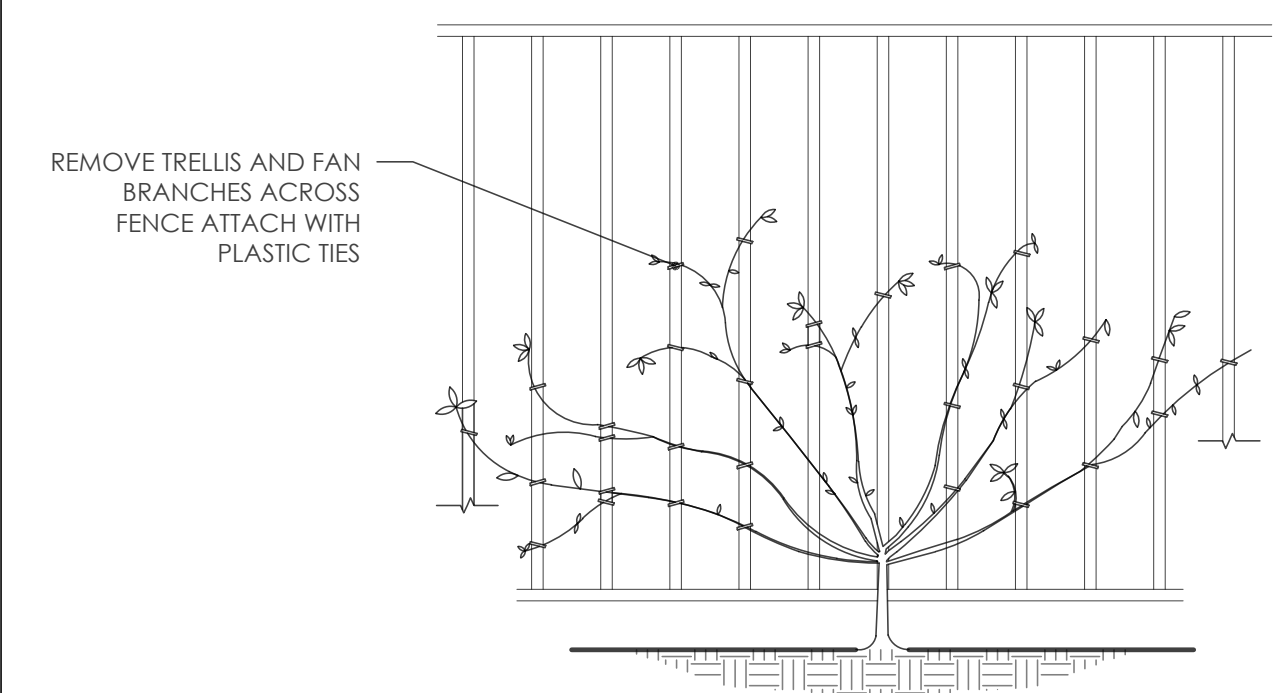
**PLANTING LEGEND NOTES**

- ALL STREET TREES ARE TO BE PLANTED PER DETAIL A/L-2.1.
- ANY TREE PLANTED CLOSER THAN 4' TO ANY HARDSCAPE SHALL HAVE A LINEAR ROOT BARRIER INSTALLED PER DETAIL A/L-2.1.
- ALL SHRUBS AND GROUNDCOVERS ARE TO BE PLANTED PER C/L-2.1.
- CONTRACTOR IS TO PROVIDE AN AUTOMATIC IRRIGATION SYSTEM WITH 100% COVERAGE AND SEPARATE SUN/SHADE AND TURF/GROUNDCOVER SYSTEMS. REFER TO IRRIGATION PLANS FOR SPECIFICS OF INSTALLATIONS.
- CONTRACTOR SHALL NOT DETOUR FROM ANY OF THE PLANT MATERIAL ON THE LIST UNLESS CONSULTING WITH THE LANDSCAPE ARCHITECT FIRST.
- CONTRACTOR SHALL INSTALL HEADER AT THE EDGE OF ALL TURF TO SHRUB AREAS. SEE DETAILS FOR MATERIAL.
- ALL SHRUB AREAS SHALL RECEIVE A 3" LAYER OF MEDIUM SIZED FIR MULCH 1/2" TO 1" IN DIAMETER. TOP SURFACE OF MULCH SHALL BE A MINIMUM OF 1" BELOW ANY ADJACENT HARDSCAPE. "GORILLA HAIR" OR POST CONSTRUCTION WASTE WILL NOT BE ACCEPTED.
- ALL SLOPE AREAS 3:1 OR GREATER SHALL HAVE JUTE NETTING OR EQUIVALENT SLOPE STABILIZATION MATERIAL APPLIED ON TOP OF ANY APPLIED MULCH.
- ALL PLANT MATERIAL, COLOR, SIZE AND QUANTITIES ARE TO BE VERIFIED WITH OWNER.
- ALL CITY STREET TREES TO BE 24" BOX, HAVE A CALIPER AT SOIL LEVEL OF 1.5 INCHES, AND BE ABOUT 8 FEET TALL ONCE PLANTED.
- SUBMIT COBBLE SAMPLE FOR APPROVAL PRIOR TO INSTALLATION.
- REMOVE FERN PINE FROM TRELLIS AND TRAIN TO FENCE.

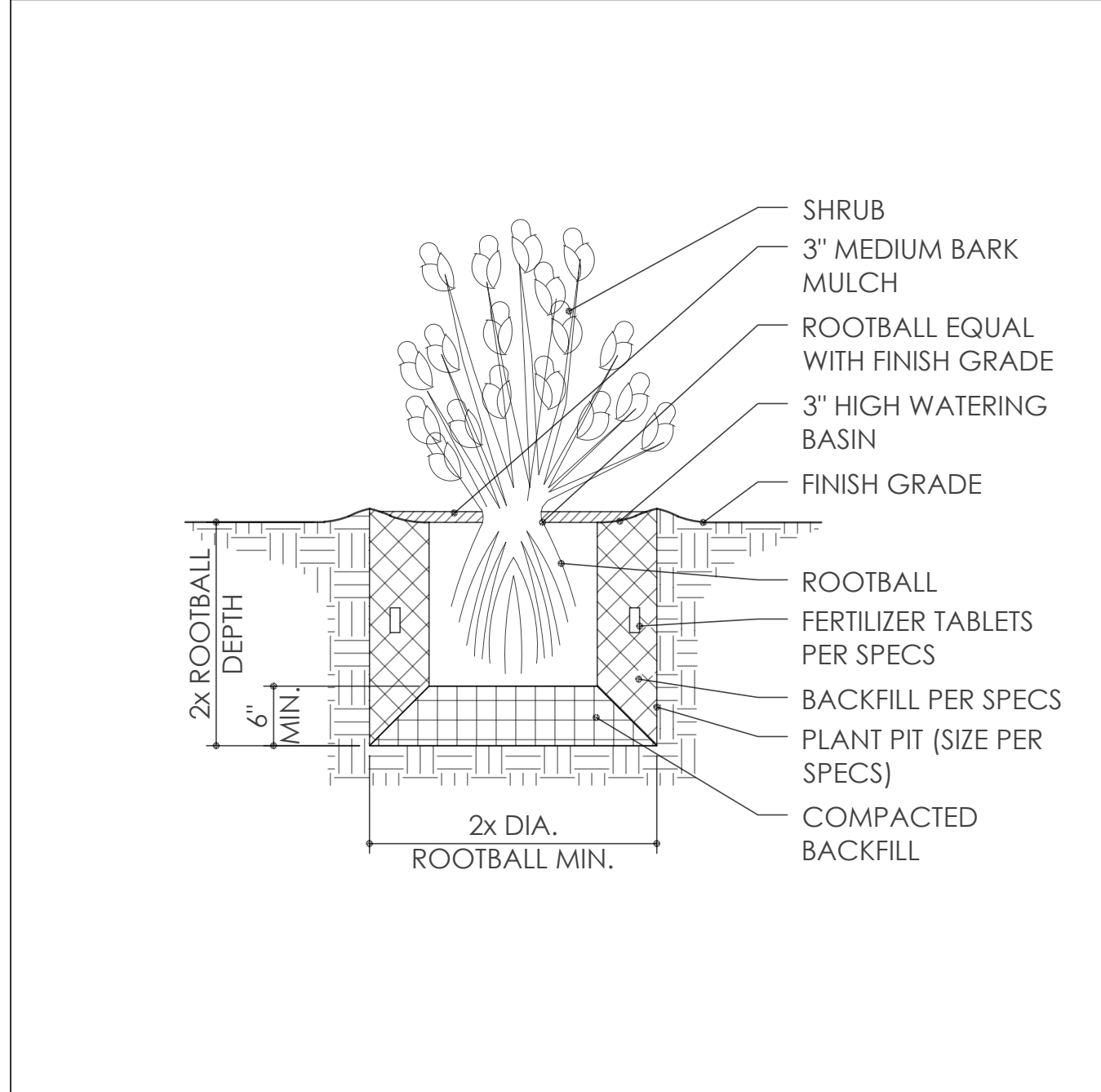


**STREET TREE PLANTING  
DETAIL  
PLANTER AREAS**

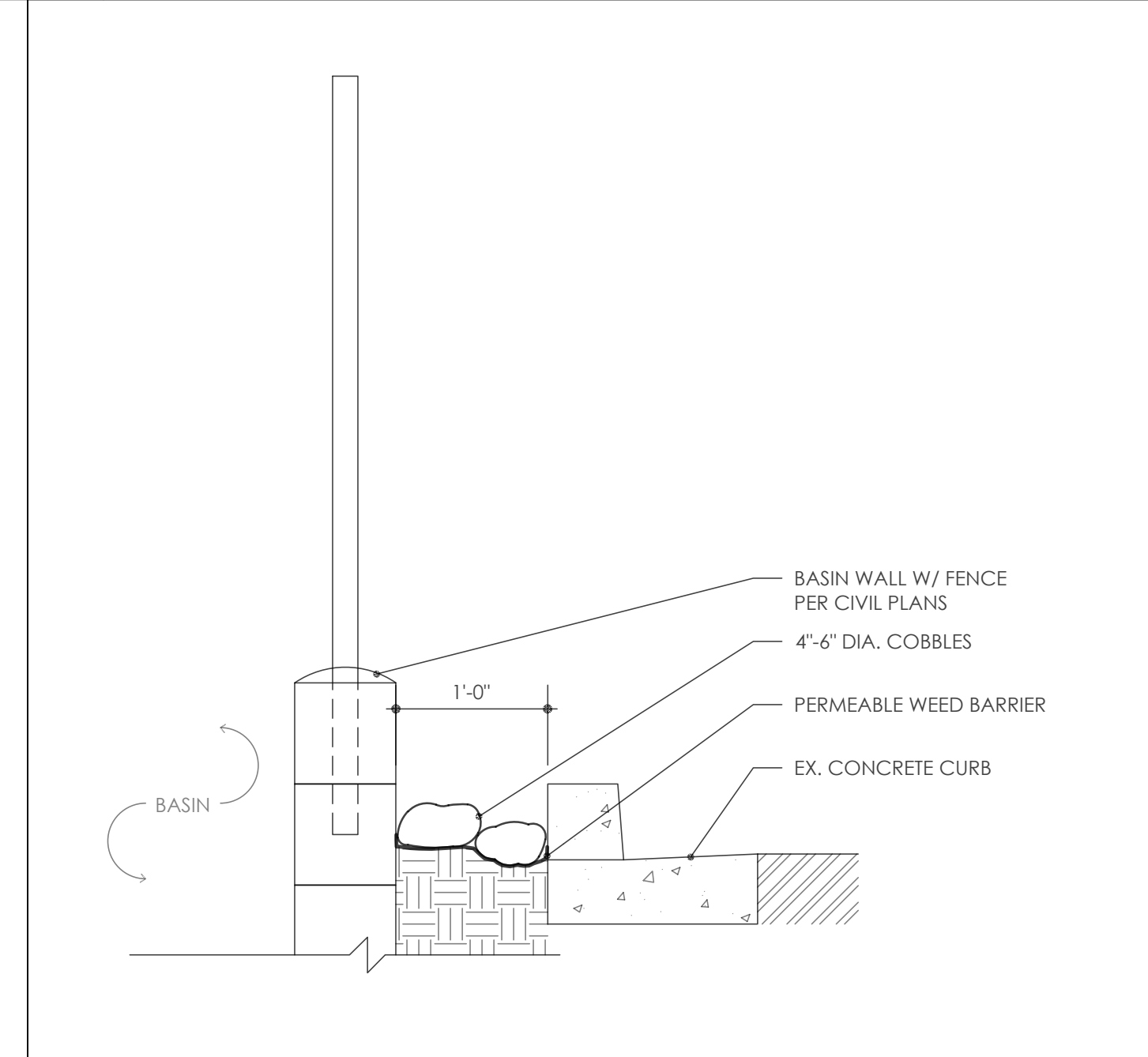
**A STREET TREE PLANTING**



**B ESPALIER ALONG FENCE**



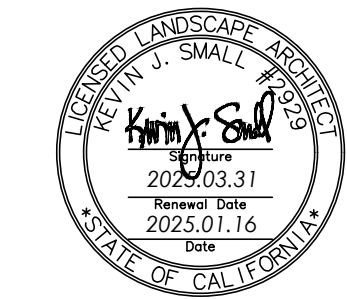
**C SHRUB PLANTING**



**D COBBLES**

**PLEINAIRE  
DESIGN GROUP**

3203 Lightning St., Ste. 201 // Santa Maria, CA 93455  
805.349.9695 // [www.pleinairedg.com](http://www.pleinairedg.com)



THE DRAWING, DESIGN IDEAS, AND FEATURES OF CONSTRUCTION DEPICTED WITHIN THE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF KEVIN J. SMALL, LANDSCAPE ARCHITECT. THEY ARE NOT TO BE REUSED, REPRODUCED, COPIED, SOLD, OR USED FOR ANY OTHER PURPOSE WITHOUT THE EXPRESSED WRITTEN CONSENT OF KEVIN J. SMALL; RLA 2025. © 2024 KEVIN J. SMALL.

**WEYRICK LUMBER POLE BARNS**

1306 WHITE COURT // SANTA MARIA, CA

**REVISION DATE**

**SHEET TITLE**

**PLANTING  
NOTES AND  
DETAILS**

**OWNER** Urban Planning Concepts  
2624 Airpark Drive  
Santa Maria, California 93455

**DATE** 2025.01.16

**PROJECT NO.** 22451

**DRAWN BY** E.B.

**CHECKED BY** K.J.S.

**SHEET NO.**

**L-2.1**

02800.01 SPECIAL PROVISIONS - IRRIGATION

02800.01 SCOPE

A. The work included in these specifications shall consist of the furnishing of all labor, tools, materials, appliances, tests, permits, etc., necessary for the installation of a landscape sprinkler system, as herein shown on the accompanying drawings. The work shall be performed in accordance with the best standards of practice relating to the various trades and under the continuous supervision of a competent foreman, capable interpreting the drawings and these specifications. The work included in this section is as follows:

- 1. Scope
2. Submittals
3. Materials
4. Installation
5. Quality Control
6. Responsibility & Guarantee
7. Inspection
8. Cleanup
9. Payment

B. The intent of the drawings and specifications is to indicate and specify a complete irrigation system, installed and ready for use without further cost in labor or materials to the owner.

C. The system shall efficiently and evenly irrigate all areas, be completed in every respect and shall be left ready for operation to the satisfaction of the Owner's authorized representative.

D. Ordinances and Regulations: All local, municipal state laws, and rules and regulations governing or relating to any portion of irrigation work are hereby incorporated into and made a part of these specifications, and their provisions shall be carried out by the Contractor. Anything contained in these specifications, shall not be construed to conflict with any of the above rules and regulations or requirements of the same. However, when these specifications call for or describe materials, workmanship, or construction of better quality, higher standards, or larger size than is required by the above rules and regulations, the provisions of these specifications and drawings shall take precedence.

E. If required, the Contractor shall submit irrigation drawings for approval to local or municipal agencies.

F. Any item shown in the specifications and not shown on the drawings, or on the drawings and not on the specifications, shall be considered to appear in both, except any item or material shown on specifications which is obviously not intended to complete the installations.

G. In the event of "conflict" between the drawings and the specifications, the landscape architect or his authorized representative shall be consulted.

H. Explanation of drawings:

1. Due to the scale of drawings, it is not possible to indicate all offsets, fittings, sleeves, etc., which may be required. The Contractor shall carefully investigate the structural and finished conditions existing at all work and plan the work accordingly, furnishing such fittings, etc., as may be required to meet such conditions. This design is diagrammatic. All piping, valves, etc. shown within paved areas is for the design clarification only and shall be installed in planting areas where possible. Avoid any conflicts between the sprinkler system, plantings and architectural features.

2. All work called for on the drawings by notes or details shall be furnished and installed whether or not specifically mentioned in the specifications.

3. The Contractor shall not willfully install the irrigation system as shown on the drawings when it is obvious in the field that there are grade differences, or discrepancies in area dimensions exist that might not have been considered in Engineering. Such obstructions or differences should be brought to the attention of the Owner's authorized representative. In the event this notification is not performed, the irrigation Contractor shall assume full responsibility for any revision necessary.

4. It is the responsibility of the Irrigation Contractor to familiarize himself with all grade differences, location of walls, retaining walls, etc. He shall coordinate his work with the general contractor and other subcontractors for the location and installation of pipe sleeves through walls, under roadways, paving, structures, etc.

02800.02 SUBMITTALS

A. Material List:

1. The Contractor shall furnish the articles, equipment, materials, or processes specified by name in the Drawings and Specifications.
2. A complete materials list shall be submitted prior to performing any work. Materials list shall include manufacturer, model number, and description of all materials and equipment to be used.

3. Equipment or materials installed or furnished without prior written approval of the Landscape Architect may be rejected and the Contractor may be required to remove such materials from the site at his own expense.

4. Approval of any item, alternate, or substitute indicates only that the product or products apparently meet the requirements of the drawings and specifications on the basis of the information or samples submitted.

5. Manufacturer's warranties shall not relieve the Contractor of his liability under the guarantee. Such warranties shall only supplement the guarantee.

6. Substitutions: If the irrigation contractor wishes to substitute any equipment or materials for equipment or materials listed on the irrigation drawings and specifications, he may do so by providing the following information to the Owner's authorized representative for approval:

- a. Provide a statement indicating the reason for making the substitution. Use a separate sheet for paper for each item to be substituted.
b. Provide descriptive catalog literature, performance charts and flow charts for each item to be substituted.
c. Provide the amount of cost savings or increase if the substituted item is approved.
d. The Owner's authorized representative shall have the sole responsibility in accepting or rejecting any substituted item as an approved equal to equipment and materials listed on the irrigation drawings and specifications.

B. Operation and Maintenance Manuals:

1. Prepare and deliver to the Owner's authorized representative within ten (10) calendar days prior to acceptance of construction all required and necessary descriptive material in complete detail and sufficient quantity to be individually bound copies of the operation and maintenance manual. The manual shall describe the material installed and shall be in sufficient detail to permit operating personnel to maintain all equipment and materials. Spare parts list and related manufacturer information shall be included. Each complete, bound manual shall include the following information:

- a. Index sheets stating Contractor's address and telephone number, list of equipment with name and address of local manufacturer's representative.
b. Catalog and parts sheets on all materials and equipment installed under this contract.
c. Guarantee statement.
d. Complete operating and maintenance instructions on all major equipment.
e. Controller Charts.

2. In addition to the above mentioned maintenance manuals, provide the Owner's maintenance personnel with the instructions for major equipment and show evidence in writing to the Landscape Architect at the conclusion of the project that this service has been rendered.

C. Record Drawings:

1. Record accurately on one set of black and white prints of the drawings all changes in the work constituting departures from the original contract drawings including changes in both pressure and non-pressure lines.

2. These drawings shall also serve as work progress sheets, and the Contractors shall make neat and legible annotations thereon daily as the work proceeds, showing the work as actually installed. These drawings shall be available at all times for inspection and shall be kept in a location designated by the Owner's authorized representative.

3. Before the date of the final inspection, the contractor shall transfer all information from the "As-Built" prints to an ozalid sepia, procured from the Owner's authorized representative. All work shall be neat, in ink and subject to the approval of the Owner's authorized representative.

4. Dimension from two permanent points of reference (building, monuments, sidewalks, curbs, pavement, etc.). Locations shown on as-built drawings shall be kept day as day as the project is being installed. All dimensions noted on drawings shall be minimum 1/8 inch to size.

5. Show locations and depth of the following items:

- a. Connection to existing water lines.
b. Connection to existing electrical power.
c. Gate valves.
d. Routing of sprinkler pressure lines (dimension max. 100' along routing).
e. Sprinkler control valves.
f. Routing of control wiring.
g. Quick coupling valves.
h. Other related equipment as directed by the Owner's authorized representative.

6. Maintain record drawings on site at all times.

7. On or before the date of the final inspection, the Contractor shall deliver the corrected and completed sepia's to the Owner's authorized representative. Delivery of the sepia's will not relieve the Contractor of responsibility of furnishing required information that may be omitted from the as-built drawings.

D. Record Drawings:

1. Record drawings must be approved by the Owner's authorized representative before charts are prepared.

2. Provide one controller chart for each automatic controller supplied, showing the area covered by the controller, and the maximum size the controller door will allow.

3. The chart is to be a reduced drawing of the actual "record" system. However, in the event the controller sequence is not legible when the drawing is reduced, it shall be enlarged to a size that will be readable when reduced.

4. Chart shall be a blackline print and a different color shall be used to show each area of coverage for each station.

5. These charts must be completed and approved prior to final inspection with duplicates placed in the owner's manual.

E. Certification:

1. Written certification of tests and inspections outlined in section 2800.07 (inspections) shall be submitted to the owner prior to approval.

F. Equipment to be Furnished:

1. Supply as a part of this contract the following tools:

- a. Two (2) sets of special tools required for removing, disassembling, and adjusting each type of sprinkler and valve supplied on this project.
b. Two (2) valve keys for operation of gate valves.
c. Two (2) keys for each automatic controller.
d. Two (2) quick coupler keys and matching hose swivels for each type of quick coupling valve installed.

2. The above mentioned equipment shall be turned over to the Owner at the conclusion of the project. Before final inspection can occur, evidence that the Owner has received the material must be shown to the Engineer.

G. Guarantee:

1. The guarantee for the sprinkler irrigation system shall be made in accordance with the attached form.

2. A copy of the guarantee form shall be included in the operations and maintenance manual.

3. The guarantee form shall be pre-typed onto the Contractor's letterhead and contain the following information:

FOR GUARANTEE FOR SPRINKLER IRRIGATION SYSTEM

We hereby guarantee that the sprinkler irrigation system we have furnished and installed is free from defects in materials and workmanship, and the work has been completed in accordance with the drawings and specifications, ordinary wear and tear and unusual abuse or neglect excepted. We agree to repair or replace any defects in material or workmanship, including setting of backfill and areas below grade, which develop during the period of one year from date of acceptance and also repair or replace any damage resulting from the repairing or replacing of such defects at no additional cost to the Owner. We shall make such repairs or replacements within 72 hours of notification that repair work is necessary. In the event of our failure to make such repairs or replacements within a reasonable time after receipt of written notice from the Owner, we authorize the Owner to proceed to have said repairs or replacements made at our expense and we will pay the costs and charges therefor upon demand.

PROJECT:
LOCATION:
SIGNED:
ADDRESS:
PHONE:
DATE OF ACCEPTANCE:

02800.03 MATERIALS

A. General:

Use only new materials of brands and types noted on drawings, specified herein, or approved equals.

B. Handling of PVC Pipe and Fittings:

The Contractor is cautioned to exercise care in handling, loading, unloading and storing PVC pipe and fittings. All PVC shall be transported in a vehicle which allows the length of pipe to lie flat so as not to subject it undue bending or concentrated external load at any point. Any section of pipe that has been dented or damaged will be discarded and if installed, shall be replaced with new piping.

C. Pressure Rated PVC Pipe:

- 1. The following sizes are acceptable minimums for pressure rated pipe.
a. One-half inch (1/2") to one and one-half inch (1-1/2") diameter; approved Schedule 40, two inch (2") and larger Class 315.
b. Fitting one-half inch (1/2") to one and one-half inch (1-1/2"), Schedule 80.

2. All PVC pipe must bear the following markings:

- a. Manufacturer's name.
b. Nominal pipe size.
c. Schedule or class.
d. Pressure rating in P.S.I.
e. NSF (National Sanitation Foundation) approval.
f. Date of extrusion.

3. PVC Solvent Weld pipe shall be made from NSF approved Type I, Grade PVC compound conforming to ASTM resin specification D1785. All pipe must meet requirements as set forth in Federal Specification PS-21-70.

D. Non-Pressure PVC Lateral Pipe:

1. Non-pressure buried lateral line piping shall be PVC minimum Schedule 40 with solvent-weld joints.

2. Pipe shall be made from NSF approved, Type I, Grade II PVC compound conforming to ASTM resin specification D1785. All pipe must meet requirements set forth in Federal Specification PS-21-70 with an appropriate standard dimension ratio.

E. PVC Pipe Fittings and Connections:

All fittings shall bear the manufacturer's name or trademark, material designation, size, applicable I.P.S. schedule and NSF seal of approval.

- 1. Ring-Tile PVC fittings shall be fabricated from Schedule 40, 1-2, II-1 NSF solvent-weld PVC fittings conforming to ASTM testing procedure D2466 and PVC ring-tile bell adapter using solvent and solvent procedures recommended by the manufacturer.
2. Fabrication shall be performed at the manufacturer's plant location or at an authorized distributor shop location. Field fabrication of fittings will not be allowed.
3. PVC solvent-weld fittings shall be Schedule 40, 1-2, 11-1 NSF approved conforming to ASTM test procedure D2466.

4. Solvent cement and primer for PVC solvent-weld pipe and fittings shall be of type and installation methods prescribed by the manufacturer.

5. 45-degree fittings shall be used at all changes in depth of pipe.

6. When connection is plastic to metal, male adapters shall be used. The male adapter shall be hand tightened, plus one turn with a strap wrench. Joint compound shall be Permatex Type II or equal.

7. Risers shall be Schedule 80 PVC pipe with fittings to permit lowering of the heads.

F. Galvanized Pipe Fittings:

- 1. Where indicated on the drawings, use galvanized steel pipe ASA Schedule 40 mild steel screwed pipe.
2. Fittings and couplings shall be medium galvanized screwed beaded malleable iron.
3. All galvanized pipe and fittings installed below grade shall be painted with (2) coats of Koppers #9 Bitumastic.

G. Backflow Prevention Units:

1. As required by local or state ordinances, provide and install vacuum breakers to protect the domestic water supply against back siphonage from sprinkler system. Each backflow prevention device shall be approved by local Health Department and shall be of the size and type as indicated. All backflow devices shall be installed in accordance with the requirements as set forth by the local plumbing code having jurisdiction over the work in this area. Pressure type of backflow preventers shall be placed twelve inches (12") above the highest downstream piping as required by code.

2. Backflow preventer to be constructed of brass. The backflow preventer shall operate on a pressure principle. It shall be capable of being installed under continuous pressure. The pressure type vacuum breaker shall consist of an approved body, check valve, vacuum relief, inlet and discharge ports. The pressure type of vacuum breaker shall be for cold water opening of greater diameter than the iron pipe size of the unit. The vacuum relief shall be separated and independently from the check valve member. All nipples and other fittings shall be of red brass construction. The pressure type of vacuum breaker shall be for cold water service to 160 degrees. A protective screen shall eliminate insects or debris from entering the unit. The unit shall be approved by local authorities.

H. Valves:

1. Remote Control Valves, Electric Solenoid Type.

The remote control valve shall be normally closed, 24 volt, 60 cycle, 2.0 watt and shall operate with 18-30 volts of power to the solenoid. Solenoid operator shall have "grit filter" protection and valves shall have removable inlet port strainer to screen debris from all water entering bonnet and solenoid assembly. Valve body and bonnet shall be cast brass, diaphragm of nylon reinforced neoprene and stainless steel, solenoid tube, plunger, springs, etc., of stainless steel. Valves shall have no external bleed tubes and must be complete with manual bleed plug and flow control adjustment. The valve shall have a slow uniform closure to eliminate water hammer or chatter. Valve shall be pressure rated at 150 PSI.

2. Gate Valves:

- a. Gate valves 3" and smaller shall be 125 lb. SWP bronze gate valve with screw in bonnet, handwheel and handle.
b. Gate valves 3" and smaller shall have threaded ends and shall be equipped with bronze handwheel.
c. Gate valves 3" and smaller shall be similar to those manufactured by Nibco or approved equal.
d. All gate valves shall be installed per installation detail.

3. Quick Coupling Valves:

a. Quick coupling valves shall have a brass two-piece body designed for working pressure of 150 PSI, operable with quick coupler. Key size and type shall be as shown on plans.

I. Valve Boxes:

All remote control valves and gate valves shall be installed in suitable valve boxes as shown in details, complete with cover. Locking and/or hinges covers will not be necessary. Box lid shall be marked "R.C.V." or "RIRIG VALVE".

- 1. Use a 9" x 24" round box for all gate valves, Brooks #9 or approved equal.
2. Use a 9 1/2" x 16" x 11" rectangular box for all electrical control valves. Carson Industries, Ametek, or approved equal.

J. Automatic or Smart Controller:

1. The automatic controller shall have minimum number of stations as indicated on the plans and shall be completely automatic in operation and shall electronically start the sprinkler cycle and electronically time the individual stations.

2. The controller shall have a standard 117 volt, 60 cycle power input and 26.5 v. 2 amp. output.

3. The controller shall have a 14 day programming and be capable of automatically starting a watering cycle at any time on the off for 24 hours per day.

4. Each station shall have an on switch for zero time and individual timing control for 2 to 60 minutes each station.

5. Each station shall have an on/off and repeat switch for eliminating one or more stations from the automatic timing sequence or for initiating a repeat cycle on any or all stations after the normal watering cycle has been completed.

6. It shall be possible to operate the controller manually and to select and operate manually any station.

7. Controller shall be equipped with a reset circuit breaker, and shall be housed in a locking, weatherproof cabinet.

8. Controller to have a battery back up with fresh batteries supplied by Contractor.

K. Control Wiring (Low Voltage)

1. Connections between the automatic controllers and the electric control valves shall be made with U.F. approved direct burial copper wire. Pilot wires shall be a different color for each automatic controller. Common wires shall be white with a different color stripe for each automatic controller. Install in accordance with valve Manufacturer's specifications and wire chart. In no case shall wire size be less than #14.

2. Wiring shall occupy the same trench and be installed along the same route as pressure supply or lateral lines whenever possible.

3. Where more than one (1) wire is placed in a trench, the wiring shall be banded together at intervals of ten (10) feet.

4. Where called for on plans, control wires shall be installed within the schedule 40 PVC sleeves, 12" below grade (existing system's manual-to-automatic conversion) install 18" from adjacent paving.

5. An expansion cut shall be provided within three (3) feet of each wire connection and at least every one hundred (100) feet of wire length. Expansion cuts shall be formed by wrapping at least five (5) turns around one inch diameter pipe, then withdrawing the pipe.

6. All splices shall be made with Scotch-Lok Connector Sealing Packs, Pen-Tite Wire Connector, or approved equal. Use one splice per connector sealing pack.

7. Field splices between the automatic controller and electrical control valves will not be allowed, unless spliced in a pull-box with prior approval of the Landscape Architect.

L. Sprinkler Heads:

1. General:

- a. All sprinkler heads shall be of the same size, type and deliver the same rate of precipitation with the diameter (or radius) of throw, pressure, and discharge as shown on the plans or specified in these special provisions.
b. Spray heads shall have a screw adjustment.
c. Riser units shall be fabricated in accordance with details shown on plans.
d. Riser Nipples for all sprinkler heads shall be the same size as the riser opening in the nozzle body.
e. All sprinkler heads of the same type shall be of the same manufacturer.
f. Contractors shall delaminate products or materials listed within irrigation legend without exception from the Landscape Architect or the Owner's authorized representative.

2. Type "A" Pop-Up Lawn Spray:

- a. Pop-up lawn spray heads shall have a minimum 4" pop-up nozzle piston with a stainless steel retraction spring which the sprinkler body shall be manufactured of corrosion resistant material such as high strength ultraviolet and impact resistant plastic.
b. Nozzles for 4" pop-up lawn spray sprinklers shall be of impact resistant plastic construction and shall be adjustable.
c. 4" pop-up lawn spray sprinklers shall be the Rainbird 1800 series, Toro 570Z series or approved equal.
d. Type "A" pop-up lawn spray shall be equipped with pressure regulation and an internal check valve.

3. Type "B" Pop-Up Shrub Spray:

- a. Pop-up shrub spray heads shall have a minimum 12" pop-up nozzle piston with a stainless steel retraction spring. The sprinkler body shall be manufactured of corrosion resistant material such as high strength ultraviolet and impact resistant plastic.
b. Nozzles for 12" pop-up shrub spray sprinklers shall be of impact resistant plastic construction and shall be adjustable.
c. 12" pop-up shrub spray sprinklers shall be the Rainbird 1800 series, Toro 570Z series or approved equal.
d. Type "B" pop-up shrub spray heads should be used within low growing ground cover areas only.
e. Type "B" pop-up shrub spray shall be equipped with pressure regulation and an internal check valve.

4. Type "C" Pop-Up Shrub Spray:

- a. Pop-up shrub spray heads shall have a minimum of 12" pop-up nozzle piston with a stainless steel retraction spring. The sprinkler body shall be manufactured of corrosion resistant material such as high strength ultraviolet and impact resistant plastic.
b. Nozzles for 12" pop-up shrub spray sprinklers shall be of impact resistant plastic construction and shall be adjustable.
c. 12" pop-up shrub spray sprinklers shall be the Rainbird 1800 series, Toro 570Z series or approved equal.
d. Type "C" pop-up shrub spray shall be equipped with pressure regulation and an internal check valve.

5. Type "D" Gear-Driven Rotary Shrub Sprinkler:

- a. Type "D" sprinklers shall be constructed with tough corrosion resistant, durable bodies molded out of Duroplastic.
b. Type "D" sprinklers shall be gear driven and have an easily accessible screen to prevent plugging of nozzle orifices from debris of water spray source.
c. Rotors shall have a pop-up height of 4" or " depending on turf type and mow height. Turf rotors shall be Rainbird or Toro.
d. Shrub rotors shall have a pop-up height of 12", unless specified on a fixed riser. Shrub rotors shall be Rainbird or Toro.

02800.04 INSTALLATION

A. Site Conditions:

1. Drawing Scale - All scaled dimensions are approximate. The contractor shall check and verify all site dimensions and receive Landscape Architect's approval prior to proceeding with the work under this contract. Coordinate installation of sprinkler irrigation materials, including pipe, risers, valves, and controllers.

2. Grades - The contractor shall carefully check all construction to satisfy himself that he may safely proceed before starting work on the sprinkler system.

3. Existing Utilities and Irrigation System - Exercise extreme care in excavation and working near existing utilities and irrigation system components. Contractor shall be responsible for damages to utilities or irrigation components which are caused by his operations or neglect. Check existing plans for existing utility and irrigation system component locations.

4. Existing Trees - Where it is necessary to excavate adjacent to existing trees, the Contractor shall use all possible care to avoid injury to trees and tree roots. Excavation in these areas where two (2) inch and larger roots occur shall be done by hand. All roots two (2) inches and larger in diameter, except directly in the path of pipe of conduit, shall be tunneled under and shall be heavily wrapped with burlap to prevent scarring or excessive drying. Where a ditching machine is run close to trees having roots smaller than two (2) inches in diameter, the wall of the trench adjacent to tree shall be hand trimmed, making clean cuts through roots. Roots one (1) inch and larger in diameter shall be painted with two coats of tree seal, or equal. Trenches adjacent to trees should be closed within twenty-four (24) hours; and where not possible, the side of the trench adjacent to the tree shall be kept shaded with burlap or canvas.

B. Irrigation Layout:

- 1. Prior to installation, the contractor shall stake out all pressure supply lines, routing, and location of sprinkler heads.
2. All layout shall be approved by the Landscape Architect, Owner and General Contractor prior to installation.

C. Water Supply:

1. Sprinkler irrigation system shall be connected to water supply points of connection as indicated on the plans.

2. Connections shall be made at approximate locations as shown on plans. Contractor is responsible for minor changes caused by actual site conditions.

3. Contractor to verify existing pressure, and meter size, at P.O.C. If it varies from the drawings the Contractor shall contact the Landscape Architect immediately.

D. Electrical Supply:

1. Electrical connections for automatic controller shall be provided by the General Contractor.
2. Connections shall be made at approximate locations as shown on plans. Contractor is responsible for minor changes caused by actual site conditions.

E. Trenching:

- 1. Dig trenches straight and support pipe continuously on bottom of trench. Lay pipe to an even grade. Trenching excavation shall follow layout indicated on plans and as noted.
2. Pressure main lateral - provide for a minimum cover of eighteen (18) inches.
3. Non-pressure lateral line - provide for minimum cover of twelve (12) inches.

4. Control wire - provide for a minimum cover of eighteen (18) inches when installed in trench with non-pressure lateral and twelve (12) inches when installed in PVC sleeve.

5. When two (2) pipes are to be placed in the same trench, a six (6) inch space shall be maintained between the pipes.

F. Backfilling:

- 1. Trenches shall not be backfilled until all required tests are performed. Trenches shall be backfilled carefully with the excavated materials approved for backfilling, consisting of earth, loam, sandy clay, sand, or other approved materials, free from large clods of earth or stones. Backfill shall be mechanically compacted in landscape areas to a dry density equal to adjacent undisturbed soil in planting areas. Backfill grades under pipe, shrubs, lawns or ground cover areas, humps or other surface irregularities.
2. A fine granular sand backfill will be initially placed on all lines. No foreign matter will be permitted in the initial backfill.

3. Flooding of trenches will be permitted only with approval of the Soils Engineer or Landscape Architect.

4. If settlement occurs and subsequent adjustments in pipe, valves, sprinkler heads, lawn or planting, or other construction are necessary, the Contractor shall make required adjustments without cost to the owner.

G. Trenching and Backfill Under Paving:

1. Trenches located under areas where paving, asphalt concrete or concrete will be installed, shall be backfilled with sand (a layer 6" below the pipe and 3" above the pipe) and compacted in

layers to 95% compaction, using manual or mechanical tamping devices. Trenches for piping shall be compacted to equal the compaction of the existing adjacent undisturbed soil and shall be left in a firm unyielding condition. All trenches shall be left flush with adjoining grade. The contractor irrigation Contractor shall set in place, cap, and pressure test all piping under paving prior to paving work.

2. Generally, piping under existing walls is done by jacking, boring or hydraulic driving but, where any cutting or breaking of sidewalks and/or concrete is necessary, it shall be done and replaced by the Contractor as part of the contract work. Permanent cut or break sidewalks and/or concrete shall be obtained from the City. No hydraulic driving will be permitted under asphalt paving.

3. Provide for a minimum cover of 24" between the top of the pipe and the bottom of the aggregate base for all pressure and non-pressure piping installed under asphaltic concrete paving.

H. Assemblies:

- 1. Routing of sprinkler irrigation lines as indicated on the drawings is diagrammatic. Install lines (and various assemblies) in such a manner as to conform with the details per plans.
2. Install no multiple assemblies on plastic lines. Provide each assembly with its own outlet.

3. Install all assemblies specified herein in accordance with respective details. In absence of detail Drawings or Specifications pertaining to specific items required to complete work, perform such work in accordance with best standard practice. Whenever possible obtain prior approval of the Landscape Architect.

4. PVC pipe and fittings shall be thoroughly cleared of dirt, dust and moisture before installation, installation and solvent welding methods shall be recommended by the pipe and fitting manufacturer.

5. On PVC to metal connections, the Contractor shall work the metal connections first. Teflon tape shall be applied to the metal connection and all threaded PVC to metal joints. Light wrench pressure is all that is required. Where threaded PVC connections are required, use threaded PVC adapters into which the pipe may be welded.

6. PVC pipe shall be installed in a manner which will provide for expansion and contraction as recommended by the pipe manufacturer.

7. All plastic to metal joints shall be made with plastic male adapters.

8. The joints shall be allowed to set at least 24 hours before water pressure is applied to the system on PVC pipe.

I. Line Clearance:

- 1. All lines shall have minimum clearance of 6" from each other and from lines of other trades. Parallel lines shall not be installed directly over one another.

J. Automatic Controller:

1. Install as per manufacturer's instructions. Remote control valves shall be connected to controller in numerical sequence as shown on the drawings.

2. The automatic controller shall be installed at the location shown on the plan.

3. Controller location is essentially diagrammatic and shall be specifically located by the Owner's authorized representative.

4. All local and other applicable codes shall take precedence in connecting the 110-volt electrical service to the controller.

5. Install all wires from controller to landscape areas in PVC sleeves.

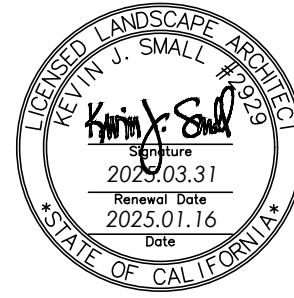
6. There shall be adequate coverage of earth (18" minimum) over the 24-volt control wire or 24" when in sleeves.

K. High Voltage Wiring for Automatic Controller:

- 1. 120-volt power connection to the automatic controller shall be provided by the Owner or General Contractor and installed by a Licensed Electrician.
2. All electrical work shall conform to local codes, ordinances and union authorities having jurisdictions.

L. Valves:

- 1. Piping systems shall be supplied with



THIS DRAWING, DESIGN IDEAS, AND FEATURES OF CONSTRUCTION DEPICTED WITHIN THE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF KEVIN J. SMALL, LANDSCAPE ARCHITECT. THEY ARE NOT TO BE REUSED, REPRODUCED, COPIED, SOLD, OR USED FOR ANY OTHER PURPOSE WITHOUT THE EXPRESSED WRITTEN CONSENT OF KEVIN J. SMALL; R/LA 2929, © 2024 KEVIN J. SMALL.

WEYICK LUMBER POLE BARN'S  
1306 WHITE COURT // SANTA MARIA, CA

REVISION DATE

SHEET TITLE

PLANTING SPECIFICATIONS

OWNER Urban Planning Concepts  
2624 Airpark Drive  
Santa Maria, California 93455

DATE 2025.01.16  
PROJECT NO. 22451  
DRAWN BY E.B.  
CHECKED BY K.J.S.  
SHEET NO.

L-3.1

02740.00 SPECIAL PROVISIONS - LANDSCAPE

02740.01 SCOPE

A. The work of this section includes all labor, materials and equipment required to complete work indicated on the Drawings. The work shall be performed in accordance with the best standards of practices relating to the various trades and under then continuous supervision of a competent foreman, capable of interpreting the Drawings and these specifications. The work included in this section is as follows:

- SCOPE
- SUBMITTALS
- MATERIALS
  - Soil conditioners and fertilizers
  - Plant materials
  - Plant staking and guying
  - Other materials
- GRADING AND SOIL PREPARATION
- PLANTING METHOD AND WORK PROCEDURE
- WEED CONTROL
- MAINTENANCE PERIOD
- INSPECTIONS
- CLEAN-UP
- PAYMENT

B. The intent of the Drawings and Specifications is to indicate the location and procedure for the installation of landscape materials to enhance the property and implement the ideas of the Landscape Architect.

C. All dimensions are approximate. Before proceeding with any work, the Contractor shall carefully check and verify all dimensions and quantities and shall immediately inform the Landscape Architect of any discrepancy between the Drawings and/or Specifications and actual conditions. No work shall be done in any area where there is any discrepancy until approval for same has been given by the Owner.

D. In the event of "conflict" between the Drawings and Specifications, the Landscape Architect or his representative shall be consulted.

E. All sprinkler work shall be inspected and approved prior to start of any work in this section.

F. Prior to excavation for planting or placing of stakes, locate all utilities, electric cables, conduits, sprinkler heads, valves, and valve control wires, and all utility lines so that proper precautions may be taken not to damage such improvements. In the event of a conflict between such lines and plant locations, promptly notify the Landscape Architect who shall arrange for relocation for one or the other. Failure to follow this procedure places upon the Contractor the responsibility for, at his own expense, making any and all repairs for damages resulting from his work hereunder.

02740.02 SUBMITTALS

- Materials List: Submit complete lists of materials and equipment proposed to provide under this portion of the work
- Manufacturers' Recommendations: Accompanying the Materials List, submit copies of the Manufacturers' current method of installation of the materials and equipment provided under this portion of the work.
- Samples: Accompanying the Materials List, submit samples if requested for the Landscape Architect or Owner's authorized representative's acceptance.
- Certification: Prior to job acceptance the following written certifications shall be submitted or the Owner's authorized representative:
  - Certification of placement of required amendments specified in soils report recommendations. Written certification and tests to be done by a soils laboratory approved by the Landscape Architect.
  - Certification of quality and quantity of commercial and organic fertilizer.
  - Certification of quality and quantity of plant materials.
  - Certification for start & end maintenance period.

Other Submittals:

- Manuals
- Test Reports
- Wood bark mulch: one-half (1/2) cubic foot of each type.

02740.03 MATERIALS

All materials shall be of standard, approved and first grade quality and shall be in prime condition when installed and accepted. Any commercially processed or packaged material shall be delivered to the site in the original unopened container bearing the manufacturer's guaranteed analysis

A. Soil Conditioners and Fertilizers:

- Organic amendment shall be nitrogen stabilized wood residual. This may be a nitrified redwood sawdust (08% actual nitrogen) or nitrified fir bark (1.0% actual nitrogen). It shall be lime textured having a minimum of 95% passing No. 4 mesh screen, and a minimum higher than to obtain a 3.5 millionth per centimeter reading at 25 degrees Centigrade as measured by saturation extract conductivity. Apply at a minimum rate of 4 cubic yards per 1000 square feet or soils report, whichever is greater. (Verify with analysis recommendations.)
- Iron Sulfate shall be a standard brand applied at the rate of 20 lbs. per 1000 square feet (if required).
- Commercial fertilizer shall be a commercial grade pelleted or chip type, as "Agrifon Blue Chip" or equal, uniform in composition, dry and free flowing, per the rate as shown on the plans. Particle size not less than 2# through a No. 48 mesh. Fertilizer shall be delivered to the site in the original unopened container, bearing the manufacturer's guaranteed analysis. Any fertilizer that becomes caked or damaged, making it unsuitable for use, will not be accepted. Apply at a rate of 6 lbs. per 1000 square feet (NOTE: Quantity for bid purposes only. Precise quantity to be per soils analysis recommendations.)
- Plant Tablets - Fertilizer planting tablets shall be lightly compressed commercial grade planting tablets having a 20-10-5 formula, weighing 21 grams each, as "Blue Chip" planter tablets or equal. The Planting Tablets shall be delivered to the site in the original unopened containers, bearing the manufacturer's guaranteed analysis. Any damaged tablets will not be accepted.

B. Plant Materials:

- Trees, shrubs and ground cover - Plant materials shall be furnished in the quantities and/or spacing as shown or noted for each location, and shall be of the species, kinds, sizes, etc., as symbolized and/or described in the drawings. The Landscape Contractor is to verify all sizes and quantities.
    - Nomenclature: The scientific and common names of plants herein specified conform with the approved names given in "A Checklist of Woody Ornamental Plants in California" Manual 32, published by the University of California School of Agriculture, 1963 (See plant material on drawings).
    - Labeling: Each group of plant materials delivered to the site shall be clearly labeled as to the species and variety and nursery source; however, determination of plant species or variety will be made by the Landscape Architect and decision will be final.
    - Condition: Plants shall be symmetrical, typical for variety and species, sound healthy, vigorous, and free from plant disease, insect pests, or their eggs, sun scalds, fresh abrasions of the bark, excessive abrasions or other objectionable displacements. Tree trunks shall be sturdy and well "hardened" off. All plants shall have normally well developed branch systems and vigorous and fibrous root systems which are not root or pot bound. In the event of disagreement as to the condition of root system, the root condition of the plants furnished by the Contractor in containers will be determined by the removal of earth from the roots of not less than two plants or more than two percent of the total number of plants of each species or variety. Where container grown plants are from several sources, the roots of not less than two plants of each species inspected are to be taken to the hole to verify the condition. The Landscape Architect reserves the right to reject the entire lot or lots of plants represented by the defective samples. The Landscape Architect is the sole judge as to the acceptability. Any plants rendered unsuitable for planting because of this inspection will be considered as samples and will be provided at the expense of the Contractor.
- The size of the plants will correspond with that normally expected for the species and variety of commercial available nursery stock, or as specified in the special conditions in the drawings. The measured height of all plants, measured to the top of the plant, shall settle deeper than normal position shall conform with the measurements, if any, specified on the drawings in the list of plants to be furnished. Plants larger in size than specified may be used with approval of the Landscape Architect, but the use of larger plants will make no change in contract price. If the use of larger plants is approved, the ball of earth or spread of roots for each plant shall be increased accordingly.

d. Substitutions of the indicated plant materials will be permitted providing the substitute materials are approved in advance by the Landscape Architect or Owner's authorized representative, and substitutions are made at no additional cost to the Landscape Architect or Owner's authorized representative. Except for the variations so authorized, all substitute plant materials shall conform to the requirements of these specifications. If the accepted substitute materials are of less value than those indicated or specified, the Contract price will be adjusted in accordance with the provisions of the contract.

e. Plants not approved are to be removed from the site immediately and replaced with suitable plants. The Landscape Architect or Owner's authorized representative reserves the right to reject the entire list of plants represented by defective samples.

C. Plant Staking and Guying:

- Tree Stakes - Tree stakes shall be 2" diameter, treated wood lodge pole, driven a minimum of one foot (1') into firm soil, and long enough to firmly support tree head (Refer to typical tree installation detail).
- Tree Ties - Tree ties shall be 1/2" diameter. Green rubber garden hose with #10 galvanized wire ties wrapped and twisted around piles. Field sample or manufactured product to be approved by the Landscape Architect.
- Tree Guying - Trees indicated shall be guy wired from three directions with #10 galvanized wire. The wire shall be covered with 1/2" diameter rubber garden hose when in contact with the tree.

Guy wires shall be securely anchored with 2" x 2" x 2" redwood stakes driven flush to the ground. All wires shall be secured with turnbuckle and covered with three foot (3') long one-half inch (1/2") diameter white PVC pipe. Field sample to be approved by the Landscape Architect.

D. Other Materials:

- General - All materials supplied shall be free of harmful substances.
- Wood bark mulch - Material to be clean and free from contaminants. No post construction waste, stump grindings or other materials that may contain paint, metal, glass or wood preservatives will be accepted. Contractor to submit sample for approval

02740.04 GRADING AND SOIL PREPARATION

A. Rough Grading - Grades in all planting areas shall be established within plus or minus 0.1 foot from indicated finish grade.

- At least 15 days before schedule use, the proposed source of topsoil shall be submitted to the Landscape Architect for approval. The Contractor shall submit a written request for approval which shall be accompanied by written report of a testing agency registered by the State for agricultural soil evaluation which states that proposed source complies with these specifications. Imported topsoil shall have the same relative composition and structure, a friable sandy loam character, and be free of roots, clods and stones larger than 1" in greatest dimension, pockets of coarse sand, noxious weeds, sticks, brush and other litter. It shall not be infested with nematodes or other undesirable insects and plant disease organisms. The top soil shall be suitable to sustain growth of the plants specified.

B. Soil Preparation:

- No soil preparation work shall be done until rough grades have been approved by the Landscape Architect
- Soils Test - Contractor shall supply an Agronomic soil analysis from a laboratory as approved by the Landscape Architect. Contractor shall test a mix of one (1) sample from a location as directed by the Landscape Architect. All soils amendments and backfill to be per soils report recommendations. Provide certification letter from Landscape Architect.
- Weed and Debris Removal - All landscape areas to be planted shall be cleaned of all noxious weeds and debris prior to any soil preparation or finish grading work. Noxious weed and grasses including Bermuda grass shall be removed by the site wherever they are found at any stage of the work. Weeds and debris shall be disposed of off the work site. Corresponding area to be sprayed with Roundup per manufacturers recommendations.
- Moisture Content - Soil shall not be worked when moisture content is so great that excessive compaction will occur, nor when it is so dry that dust will form in air or that clods will not break the readily. Water shall be applied, if necessary, to provide ideal moisture content for tilling and for planting herein specified.
- Soil Loosening - Soil in all areas to be planted shall be ripped or cultivated to a minimum depth of 12" below finished grade. Water shall be added and ripping or cultivating shall be continued until the entire 12" depth is loose and friable. All debris, pavement, concrete, and rocks over 1" in diameter shall be removed to the 12" depth and shall be disposed of off the site.
- Uniformly till into the top 6" of top soil 4 C.Y. per 1000 square feet of nitrified sawdust (Verify with soils test).

C. Finish Grading:

When rough grading, weeding, soil preparation, soil conditioning completed, and soil has been thoroughly water settled, all planting areas shall be smoothly graded, ready for placement of plant materials and for seeding.

- Grading shall be done when soil is at optimum moisture content for working.
- Finished grades shall be those indicated on the drawings and herein specified, and allowance shall be made for soil displaced by plant materials that are to be installed.
- Grades otherwise indicated, shall be uniform levels or slopes between points where elevations are given, or between points established by walks, paving, curbs, or walls. Finish grades shall be smooth, even and on a uniform plane with no abrupt change of surface. Minor adjustments of finish grades shall be made at direction of the Landscape Architect if required.
- All grades shall provide for natural runoff of water, without low spots or pockets. Flow line grades shall be accurately set by instrument and shall not be less than 2% gradient wherever possible.
- All foreign materials clods, and rocks over 1" in diameter shall be removed within 6" of the finish surface and disposed of off site.
- Finished grade of all shrub and ground cover areas shall be 3" below top of adjacent pavement, headers, curbs, or walls unless otherwise noted.

02740.05 PLANTING METHOD AND WORK PROCEDURE

Actual planting shall be performed during the periods when weather and soil conditions are suitable and in accordance with locally accepted practice, as approved by the Landscape Architect. No planting shall be done until operations in conjunction with the installation of the sprinkler system have been completed and rough grades have been established, the planting areas have been properly graded and prepared as herein specified, and the work approved by the Landscape Architect.

A. Layout of Major Planting:

- No planting shall be done until all operations in conjunction with the installation of the sprinkler system have been completed, final grades have been established, the planting areas have been properly graded and prepared as herein specified, and the work approved by the Landscape Architect or Owner's authorized representative.
- The relative position of all trees and plants is subject to approval by the Landscape Architect or Owner's authorized representative, and they shall, if necessary, be relocated as directed as part of the Contract.
- Position all plants in plant locations indicated on drawings and secure approval before excavating pits, making necessary adjustments as indicated. All such locations shall be approved by the Landscape Architect. If any underground utility is encountered in the excavation of the planting areas, other locations for planting may be selected by the Landscape Architect with no additional cost to the owner.

B. Planting of Trees, Shrubs, and Vines:

- Excavation for Planting:
  - All excavated holes shall have vertical sides with roughened surfaces and shall be of a size that is at least two times the width and two times the depth of the original plant container. The flow of rain or irrigation water. Any slurry spilled into restricted areas shall be cleaned up at the Contractor's expense to the satisfaction of the Landscape Architect or the Owner.
  - Excess soil generated from the planting holes shall be removed from the site.
  - Protect all areas from excessive compaction when trucking plants or other material to the planting site.
- Planting:
  - No planting shall be done in any area until the area concerned has been satisfactorily prepared in accordance with these specifications and special provisions.
  - No more plants shall be distributed in the planting area on any day than can be planted and watered that day.
  - Containers shall be cut and plants shall be removed in such a manner that the ball of earth surrounding the roots is not broken, and they shall be planted and watered as herein specified immediately after the removal from the containers. Containers shall not be cut prior to placing the plants in the planting area. Plants shall not be allowed to dry out before or while being planted. Keep exposed roots moist by means of wet sawdust, peat moss, or burlap at all times during planting operations. Do not expose roots to the air or to the sun while being placed into the ground. Wilting plants, whether in place or not, will not be accepted and shall be replaced at the Contractor's expense.
  - The Prepared Soil shall be uniformly blended in an area adjacent to the planting work and shall be accurately proportioned using a suitable measuring container. Unused excavated soil shall be cleaned up and disposed of off site. Protect the mix from water until it has been placed in backfill around plants.
  - Amended Native Soil shall be placed at the bottom of each hole, and thoroughly compacted, to a height that when the plant is placed in the hole, its root crown is level with the final established grade. Three inches (3") of amended backfill shall be thoroughly mixed with three inches (3") of native soil at the bottom of each plant container to provide transitional soil mix that is at least six inches (6") between the native soil and the backfill. Any plants which settle deeper than specified above shall be raised back to the correct level. After the plant has been placed in the hole, the additional backfill shall be added to the hole to approximately 1/2" of the height of root ball, no more than eight inches (8") below the soil surface. At this stage, water shall be added to the top of the partly filled hole to thoroughly saturate the root ball and adjacent soil.
  - After the water has completely drained, fertilizer tablets shall be placed no deeper than eight inches (8") from finish grade and two inches (2") from the root ball:
    - One tablet per gallon container
    - Two tablets per five gallon container
    - Three tablets per fifteen gallon container
    - Four tablets per 20" box
    - Five tablets per 30" box
    - Six tablets per 36" box
    - Seven tablets per 42" box
    - Eight tablets per 48" and those boxes which are larger
  - The remainder of the hole shall then be backfilled.

g. Set the tablets to be used with each plant on the top of the root ball while the plants are still in their containers so the required number of tablets to be used in each hole can be easily verified.

i. Water Basins: Construct a firmly compacted mound of soil around each tree and plant to form a watering basin of the edge of and following the shape of the planting pit area. The mound for trees from five gallon or larger containers shall be at least 4" high. Mounds for all other trees or plants not otherwise specified shall be at least 2" high. Except for trees, repeat application as recommended by pest control advisor. Herbicide recommendation shall be approved by the Landscape Architect.

g. Clear and remove these existing weeds by mowing and grubbing off all plant parts at least 1/4"

H. Weed Control - Upon the completion of the irrigation system and after all existing weeds and growth have been removed from the planting area, apply a mixture of spray per acre as follows:

- 400 lbs. - Commercial Fertilizer 12-12-12
  - 500 lbs. - Agricultural Gypsum
- A pre emergent herbicide of a type and quality approved by the Landscape Architect.

Water all areas four (4) times daily for twenty one (21) consecutive days until weed seeds have germinated. Cease watering for three (3) days. Spray a non-selective herbicide to eradicate the germinated weeds. Allow herbicide to kill all dead weeds to a depth of 1/4 inch below the surface of the soil.

If perennial weeds or grasses still exist, re-water four (4) times daily for fourteen (14) consecutive days, until new growth appears. Re-apply a non-selective herbicide. Remove weeds after herbicide has had sufficient time to kill.

02740.07 MAINTENANCE

A. The Contractor shall continuously maintain all planting areas included in the contract, from the beginning of contract work, during the process of work, and through the required maintenance period until final acceptance of all contract work by the Landscape Architect.

B. The final inspection and acceptance of all contract work and landscape installation by the Landscape Architect will establish the beginning of the required maintenance period. Provide

certification letter from Landscape Architect.

The maintenance period shall be for 90 calendar days and shall include the following:

- At the beginning of the maintenance period, the Contractor shall apply in accordance with the manufacturer's printed instructions, pre-emergent herbicide to all areas planted with shrubs and ground cover to kill all grass and weed seeds. Selected pre-emergent must be approved by the Landscape Architect.
- Continuous operations of watering, weeding, mulching, mowing, edging, rolling, cultivating, fertilizing, spraying, insect, pest, and rodent control, lawn moth control, seeding replacements, and any other operations to assure good normal growth.
- Fertilizing: During the maintenance period, fertilizing program of 16-4-8 commercial fertilizer, applied at a rate to supply 1 lb. actual nitrogen per 1000 square feet per month shall be followed. The final application of fertilizer shall be within three (3) days of the scheduled inspection at completion of the maintenance period.
- Planting areas shall be kept neat and free from debris at all times and shall be cultivated and weeded at not more than ten (10) day intervals.
- During the maintenance period, the project area will be open and available for public use. With the exception of pest free areas. Turf areas shall be fenced off during the maintenance period, and shall remain so until the turf is sufficiently established to tolerate public use. The Contractor shall be responsible for maintaining adequate protection for all areas, and conduct his maintenance operation in such a manner as to minimize inconvenience to the public. Any damaged areas shall be repaired at the Contractor's expense.
- Ground covers and turf grasses prior to completion of the establishment period shall consist of a uniform cover where a minimum of 80% of the seed germination percentage certified by the seed manufacturer has germinated and presents a healthy, vigorous color and shall exhibit growth to a minimum of 1" in height.
- The Contractor will be relieved from maintenance work when the final 90 calendar day plant establishment work has been completed to the satisfaction of the Landscape Architect or the Owner's authorized representative. Provide certification letter from Landscape Architect.
- Any lawn areas or ground cover or slope areas that do not show a prompt stand of grass or reestablishment of plant material, shall be reseeded, resodded or replanted at ten (10) day intervals until accepted by Landscape Architect or Owner's authorized representative.
  - Depressions caused by vehicles or foot traffic shall be filled and leveled. Replant damaged areas.
  - Exterminate gophers and moles and repair damage as above.
  - During the maintenance period Contractor will apply fertilizer as indicated on the drawings and or soils report.
  - Paved areas shall be washed and maintained in a neat clean condition at all times as directed by the Landscape Architect or Owner's authorized representative.

E. Erosion Control Fabric:

- Completely cover all areas with a slope of 3 to 1 or greater, including hydroseeded areas.
- Install two inch (2") layer bark mulch under jute mesh.
- Installation:
  - According to manufacturer's recommendations.
  - Install fabric rolls without stretching, perpendicular to direction of flow.
  - Overlap side edges minimum of four inches (4"), end minimum of eight inches (8").
  - Lap upper edges over lower edges, shingle style.
- Check slots: Place ends at top and bottom of slope in six inch (6") deep check slot, firmly backfilled.
- Staple ends six inches (6") on center, side edges and center of each roll two feet (2') on center.
  - Plant groundcover through fabric and mulch.

F. Hydroseeding (Ground Cover & Turf):

- Material Application & Equipment:
  - Mixing shall be performed in a tank with a built-in continuous agitation and recirculation system of sufficient operating capacity to produce a homogeneous slurry of fiber, seed, fertilizer and water in designated proportions and a discharge system which will apply the slurry to the area to be treated at a continuous and uniform rate.
  - Loading and mixing: With agitation system operating at part speed, water shall be added to the tank and a good circulation shall be established. Materials shall be added to the tank in such a manner that they are uniformly blended into the mixture in the following sequence:
    - 4,100 gal. water/acre (1,500 gal. tank/acre)
    - 1,500 lbs./acre con-wed fiber
    - 100 lbs./acre Ecology Control M Binder
    - 500 lbs./acre 12-12-12 commercial fertilizer
    - 300 lbs./acre Urea Formaldehyde
    - 100 lbs./acre 20-20-20 fertilizer
- Weed Control - Upon the completion of the irrigation system and after all existing weeds and growth have been removed from the planting area, apply a mixture of spray per acre as follows:
  - 400 lbs. - Commercial Fertilizer 12-12-12
  - 500 lbs. - Agricultural Gypsum

Water all areas four (4) times daily for twenty one (21) consecutive days until weed seeds have germinated. Cease watering for three (3) days. Spray a non-selective herbicide to eradicate the germinated weeds.

Allow herbicide to kill all dead weeds to a depth of 1/4 inch below the surface of the soil.

If perennial weeds or grasses still exist, re-water four (4) times daily for fourteen (14) consecutive days, until new growth appears. Re-apply a non-selective herbicide. Remove weeds after herbicide has had sufficient time to kill.

- Equipment - Hydraulic equipment used for the fertilizer, seed, and slurry of prepared wood pulp shall be of the "Super Hydroseed" type.
- Application - The operator shall spray the planting areas with a uniform, visible coat by using the green color of the wood pulp as a guide. The slurry shall be applied in a sweeping motion, in an arching stream, so as to fall like rain following the wood fibers to be laid on each other until a good coat is achieved and the material is spread at the required rate.
- Time limit - All slurry mixture which has not been applied to the slopes within four (4) hours after mixing will be rejected and removed from the project at the Contractor's expense.
- Protection - Special care should be exercised by the Contractor in preventing any slurry to be sprayed inside any reservoir basin or onto drainage ditches and channels which may impede the free flow of rain or irrigation water. Any slurry spilled into restricted areas shall be cleaned up at the Contractor's expense to the satisfaction of the Landscape Architect or the Owner.

All areas designated for hydroseeding shall be thoroughly watered prior to the hydroseeding. The Contractor shall note any discrepancy for complete water coverage and make correct adjustments. The Contractor shall at this time note wind and weather conditions and submit a watering program to the Landscape Architect for approval prior to hydroseeding.

- Reseeding - All bare spots shall be reseeded by the Contractor within ten (10) days. The Contractor will be responsible for all reseeded areas for as long after seeding as necessary until an acceptable stand of hydroseeding material is realized and approved by the Landscape Architect.
- Watering:
  - A balanced full-coverage watering program shall be maintained to ensure proper germination and until the acceptance of work.
  - Plants which cannot be watered efficiently with existing water system shall be watered by means of a hose.

G. Watering:

- To commence after completion of job and to continue at a rate necessary to keep mulch duration and continuing this procedure each day and every daylight hour, seven days a week will be sufficient. This continuous and moist condition is to prevail each and every day until stolens or seeds are well rooted. After the rooting stage is complete, irrigation should still continue on the basis of at least once or twice a day until turf is well established.
- Immediately after planting, water shall be applied to each shrub and vine by means of a hose. The water shall be applied in a moderate stream in planting holes until the material about roots is completely saturated from the bottom of the hole to the top of the ground.
- Plants which cannot be watered efficiently with the existing water system shall be watered by means of a hose.
- Apply water in sufficient quantities and as often as seasonal conditions require to keep the ground wet at all times, well below the root system of grass and planting. Do not cause erosion damage in watering slopes.

02740.06 WEED CONTROL

F. If live perennial weeds exist on-site at the beginning of work, spray with a non-selective systemic contact herbicide, as recommended and apply by an approved landscape pest control advisor and applicator. Leave sprayed plants intact for at least 15 days to allow complete systemic kill. Repeat application as recommended by pest control advisor. Herbicide recommendation shall be approved by the Landscape Architect.

H. Weed Control - Upon the completion of the irrigation system and after all existing weeds and growth have been removed from the planting area, apply a mixture of spray per acre as follows:

- 400 lbs. - Commercial Fertilizer 12-12-12
  - 500 lbs. - Agricultural Gypsum
- A pre emergent herbicide of a type and quality approved by the Landscape Architect.

Water all areas four (4) times daily for twenty one (21) consecutive days until weed seeds have germinated. Cease watering for three (3) days. Spray a non-selective herbicide to eradicate the germinated weeds. Allow herbicide to kill all dead weeds to a depth of 1/4 inch below the surface of the soil.

If perennial weeds or grasses still exist, re-water four (4) times daily for fourteen (14) consecutive days, until new growth appears. Re-apply a non-selective herbicide. Remove weeds after herbicide has had sufficient time to kill.

02740.07 MAINTENANCE

A. The Contractor shall continuously maintain all planting areas included in the contract, from the beginning of contract work, during the process of work, and through the required maintenance period until final acceptance of all contract work by the Landscape Architect.

B. The final inspection and acceptance of all contract work and landscape installation by the Landscape Architect will establish the beginning of the required maintenance period. Provide

certification letter from Landscape Architect.

The maintenance period shall be for 90 calendar days and shall include the following:

- At the beginning of the maintenance period, the Contractor shall apply in accordance with the manufacturer's printed instructions, pre-emergent herbicide to all areas planted with shrubs and ground cover to kill all grass and weed seeds. Selected pre-emergent must be approved by the Landscape Architect.
- Continuous operations of watering, weeding, mulching, mowing, edging, rolling, cultivating, fertilizing, spraying, insect, pest, and rodent control, lawn moth control, seeding replacements, and any other operations to assure good normal growth.
- Fertilizing: During the maintenance period, fertilizing program of 16-4-8 commercial fertilizer, applied at a rate to supply 1 lb. actual nitrogen per 1000 square feet per month shall be followed. The final application of fertilizer shall be within three (3) days of the scheduled inspection at completion of the maintenance period.
- Planting areas shall be kept neat and free from debris at all times and shall be cultivated and weeded at not more than ten (10) day intervals.
- During the maintenance period, the project area will be open and available for public use. With the exception of pest free areas. Turf areas shall be fenced off during the maintenance period, and shall remain so until the turf is sufficiently established to tolerate public use. The Contractor shall be responsible for maintaining adequate protection for all areas, and conduct his maintenance operation in such a manner as to minimize inconvenience to the public. Any damaged areas shall be repaired at the Contractor's expense.
- Ground covers and turf grasses prior to completion of the establishment period shall consist of a uniform cover where a minimum of 80% of the seed germination percentage certified by the seed manufacturer has germinated and presents a healthy, vigorous color and shall exhibit growth to a minimum of 1" in height.
- The Contractor will be relieved from maintenance work when the final 90 calendar day plant establishment work has been completed to the satisfaction of the Landscape Architect or the Owner's authorized representative. Provide certification letter from Landscape Architect.
- Any lawn areas or ground cover or slope areas that do not show a prompt stand of grass or reestablishment of plant material, shall be reseeded, resodded or replanted at ten (10) day intervals until accepted by Landscape Architect or Owner's authorized representative.
  - Depressions caused by vehicles or foot traffic shall be filled and leveled. Replant damaged areas.
  - Exterminate gophers and moles and repair damage as above.
  - During the maintenance period Contractor will apply fertilizer as indicated on the drawings and or soils report.
  - Paved areas shall be washed and maintained in a neat clean condition at all times as directed by the Landscape Architect or Owner's authorized representative.

9. Disease and pest control: Throughout the maintenance period all plants shall be maintained in a disease and pest free condition. A licensed pest control operator shall be retained by the Contractor to recommend and apply pesticides, herbicides and fungicides.

10. Pruning: All shrubs and trees shall be pinch pruned as necessary to encourage new growth and eliminate rank sucker growth. Old flowers and dead foliage and limbs shall be removed. No major pruning shall be done without the approval of the Landscape Architect or Owner's authorized representative.

12. Replacements: The Contractor shall immediately replace any plant materials that die or are damaged. Replacements shall be made to the same specifications as required for original planting.
13. It is the intent of this section to provide a level of maintenance that will present a pleasing and desirable appearance at all times. The Landscape Architect shall be the sole judge as to the adequacy of maintenance.
14. All operations shall be conducted so as to provide maximum safety to the public. Leaves, paper, weeds, and any other debris shall be removed from landscape areas and disposed of off the site by the contractor. Contractor shall clean sidewalks, roadways, and any other areas affected by his maintenance operations.
15. At the termination of the maintenance period, all plant materials shall be live, healthy, undamaged, and free from infestations. Plantings that do not conform to specifications shall be replaced and brought to a satisfactory condition before final acceptance of the work can be made, thus causing additional days of maintenance of the work can be made, thus causing additional days of maintenance by the Contractor at no additional cost to the Owner.

16. Guarantee and replacement:

- All shrubs and ground cover shall be guaranteed by the Contractor as to growth and health for a period of one year (365 days) after completion of the specified maintenance period and final acceptance by the Landscape Architect or Owner's authorized representative. All trees 20" box size and larger shall be guaranteed by the Contractor to live and grow in an acceptable upright position for a period of one year after completion of the specified maintenance period and final acceptance by the Landscape Architect or Owner's authorized representative.
- All plants showing signs of falling growth at any time during the life of the Contract, including the maintenance period of those plants so injured or damaged as to render them unsuitable for the purpose intended, shall be immediately replaced in kind and size at the expense of the Contractor.
- The Contractor, within 15 days of notification by the Landscape Architect or Owner's authorized representative, shall remove and replace all guaranteed plant materials which, for any reason, fail to meet the requirements of the guarantee. Replacement shall be made with plant materials as indicated or specified for the original planting and all such replacement materials shall be guaranteed as specified for the original guaranteed materials.

02740.08 INSPECTIONS

Normal progress inspections shall be requested from the Owner and/or Landscape Architect at least 48 hours in advance of an anticipated inspection. The Contractor will not be permitted to initiate the succeeding steps of work until he has received approval to proceed by the Inspector.

02740.08 CLEAN-UP

- During the course of the work, the Contractor shall remove surplus materials from the site and shall leave premises in a neat and clean condition.
- Upon completion of the work in this section, the Contractor shall remove all rubbish, trash, and debris resulting from his operation; remove disused equipment and implements of service, broom or wash down all walks and paving; leave entire area involved in a neat and acceptable condition such as to meet the approval of the Landscape Architect.
- Protection: Adequately protect all work from damage by subsequent construction operations. Damaged work shall be refinished or replaced.

02740.10 PAYMENT

Payment will be made at the unit bid price which shall include all labor, materials and equipment required to complete landscape improvements as shown on the plan and described herein.

02740.10 PAYMENT

Payment will be made at the unit bid price which shall include all labor, materials and equipment required to complete landscape improvements as shown on the plan and described herein.

02740.10 PAYMENT

Payment will be made at the unit bid price which shall include all labor, materials and equipment required to complete landscape improvements as shown on the plan and described herein.

02740.10 PAYMENT

Payment will be made at the unit bid price which shall include all labor, materials and equipment required to complete landscape improvements as shown on the plan and described herein.

02740.10 PAYMENT

LANDSCAPE AND IRRIGATION MAINTENANCE

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

A. Drawings and General Provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

A. The work described herein shall be performed as part of the Extended Maintenance requirements of separate Landscape Planning Section, the Irrigation Section, and as part of work contracted separately subsequent to completion of the Extended Maintenance requirements of the construction contract.

B. Work includes all labor, tools, materials, specialize equipment, insurance, transportation, hauling, dumping and qualified supervision to provide and perform complete grounds maintenance work including landscape, irrigation, and to maintain the landscape in a healthy and attractive condition as described herein. All work in this specification is required to be performed as a part of this contract whether described in an active tense or not.

C. Provide regular maintenance services as outlined in these Landscape Maintenance Specifications and submit attached Maintenance Task Matrix to the Owner's Representative for record.

D. Examine the landscape and irrigation during each required site visit, looking for problems or potential problems.

E. Make minor replacements and repairs to the landscape and irrigation items as part of the required maintenance work. Report major items needing replacement or repair to the Owner's Representative within one week of occurrence. Be available in a timely manner to perform or repair major items related to the landscape and irrigation maintenance as may be authorized in writing by the Owner's Representative.

1.3 PRE QUALIFICATION

A. To be eligible to perform the work described herein, the Contractor shall possess a current and valid General Landscape License (C-27) issued by the California Contractors State License Board and has a minimum of 5 (five) years industry experience in planting and irrigation installation and maintenance resulting in a high standard of performance and workmanship.

B. Under this section, a subcontractor, company or firm under the Contractor's direct supervision who is to provide the work shall be licensed in the State of California and have a minimum of 5 (five) years industry experience in performing that specific planting and/or irrigation repair or installation work as directed by the Contractor.

C. Proof of relevant experience shall be provided in the form of a record of minimum of five recent landscape maintenance projects including:
1. Project name and description
2. Contractor type and scope of work
3. Client contact information
4. Contract sum
5. Dates of work performed on maintenance projects

D. Provide names of state licensed Herbicide/Pesticide/ Rodenticide applicators employed by the Landscape Contractor who are anticipated to perform the work specified herein.

1.4 PROTECTION

A. Take all reasonable precautions required to protect plants against harm from rodents, rabbits, insects or extreme temperatures. Confine work to areas designated.

B. Take measures to prevent damage to buildings, structures, walls, curbs, pavement and adjacent property.

C. Store landscape maintenance and/or repair materials, or equipment in a safe manner in conformance with all applicable codes and requirements within a designated area(s) as directed and approved by the Property Manager.

1.5 SUBMITTALS

A. Submit samples and/or product data sheets to the Property Manager and Owner's Representative for review and approval, for any proposed substitution(s) and for materials not specified by manufacturers, and as noted herein.

B. Required submittals include the following:

- 1. Maintenance Schedule and Maintenance Task Matrix
2. Horticultural Soils Report
3. Soil Amendments and Fertilizers (samples and product data)
4. Herbicides (product data)
5. Pesticides (product data)
6. Pesticide Application Records
7. Mulch (sample and product data)
8. Rodenticides and/or rabbit control devices (product data)

1.6 MAINTENANCE TASK MATRIX

A. The Maintenance Task Matrix shall be updated after each site visit.

B. Weeks in which visits do not occur or tasks that are not completed shall be noted on the Matrix.

C. The Matrix shall be available for review by the Property Manager and/or Owner's Representative at any time.

D. A completed Maintenance Task Matrix shall be submitted at the end of each quarter to the Property Manager and Owner's Representative for his/her review and recording.

E. The Landscape Contractor shall retain a record copy of all completed Matrixes.

1.7 OWNER NOTIFICATION

A. Review site during each visit to determine presence of any conditions hazardous to health, safety, or welfare. Notify the Property Manager immediately of any such hazardous conditions.

1.8 REPAIR

A. Prune plant material to repair minor damage caused by vandalism, traffic, animal or mechanical damage, acts of nature, or other causes.

B. To the satisfaction of the Property Manager and/or Owner's Representative, repair any damage caused by contractor's work to irrigation system, walls, planting, curbs, utilities, lighting or paving, including any damage caused by the improper application of fertilizers, pesticides and herbicides (including burning, brownout and/or death).

C. Remove and dispose of any landscape or irrigation damaged or debris from broken plant material off-site in a timely and legal manner.

1.9 REPLACEMENT

A. Inventory each site during each visit and provide the Property Manager and Owner's Representative with list of plants that require replacement and related installation cost. Photograph dead, dying and disfigured plant material and forward photos to the both parties for review.

1. Do not remove plant material prior to the Owner Representative's approval.

B. Replace plant materials missing or damaged through theft and vandalism, pedestrian and vehicle damage, acts of nature, or work performed by other construction trades which are the responsibility of Property Owner.

C. Contractor is responsible for replacement of landscape, irrigation and site elements damaged by the Contractor's work including:

- 1. Damage or neglect caused by the improper application of fertilizers, pesticides, herbicides, physical or mechanical damage during installation, or lack of timely rodent, insect and pest control, repair or replacement to plant material.
2. Damage or neglect to irrigation system, irrigation system breakage, malfunction, programming error of water delivery, or lack of timely repair to system.

1.10 TIMING OF WORK

A. All maintenance work provided under this contract shall be provided during hours when the property is not in use, unless otherwise approved by the Property Manager in the event which requires emergency repairs to be performed.

- 1. Confirm hours with the Property Manager.

2. No work shall be performed during business hours unless specifically approved in advance in rare instances where evening or weekend hours cannot be used to accomplish the purpose.

1.11 VISIT FREQUENCY

A. Perform general maintenance at each site a minimum of once per week during the growing season (early March through mid-September).

B. Mid-September to late November visits shall occur at a minimum of once every two weeks.

C. Visit frequency during November through early March shall be a minimum of once monthly, or may be eliminated with prior approval of the Owner's Representative.

D. Required minimum maintenance visits may be in addition to, or in conjunction with, other visits that are required to perform the tasks outlined in this Section.

E. Provide the Property Manager and Owner's Representative with a Maintenance Schedule indicating the average growing season for the Property location, proposed days of visits, names of supervisor, and contact person.

F. Submit this schedule on a yearly basis at the beginning of the contract year and revise as needed.

1.12 INSPECTION OF WORK

A. The Property Manager or Owner's Representative will regularly inspect all maintenance performed under this contract.

B. The Owner's Representative may at any time request correction or improvement of maintenance practices if they fail below contract standards.

C. Contractor is expected to make necessary corrections within 72 hours of receipt of such request.

D. Requests may be made in writing, text messaging, email, telephone, or in person.

1.13 CONTACT PERSON

A. Provide the Owner's Representative with a mobile (cell) phone number and an email address where a message can be left for the Contractor, 24 hours a day.

1.14 EXISTING CONDITIONS | EXAMINATION OF SITE

A. Within two weeks of the starting date for work under this contract, make a thorough examination of the current conditions at the site.

- 1. As part of this examination, confirm that the existing plantings in each planter meet or exceed those shown on the original construction documents or any more recent plant inventories.
2. Make a list of all landscape items at the site believed to be broken, missing, disfigured, diseased, moderate to severely stressed, or otherwise not in compliance with these specifications.
3. Give a copy of this list, along with an additional itemized quote for correcting each item, to the Property Manager and Owner's Representative.
4. Upon confirmation of each item, the Property Manager or Owner's Representative will either give written authorization to make the correction, or a written release from responsibility for the item.

B. By submitting a bid on this work, you are considered to have examined the landscape, irrigation and these specifications, and to have thoroughly familiarized yourself with the scope of the required work.

1.15 DEFINITIONS

A. Contractor (landscape Contractor): The person, partnership, corporation, or agency that will perform the landscape maintenance work.

B. Owner's Representative: The person, persons, corporation, or agency either employed by or acting as consultants appointed by the Property Owner to represent their interest and who may assist in the reviewing of and approving of general or specific items stated herein, including observing in-progress and/or completed work by the Contractor for general compliance with the plans and specifications.

C. Property Manager: The Manager of the Property for which the work is being performed or his/her designated representative.

D. The landscape Contractor is responsible for obtaining updated confirmation of who the Owner's Representative is for the contracted work.

E. Excluded damage:

- 1. Damage caused by vandalism, pedestrians, vehicles or stopping carts, or acts of nature.
2. This term does not include damage caused by the contractor's actions, lack of reasonable care, insects, rodents and rabbit damage, diseases, or plant loss due to lack of water or over watering caused by an irrigation system programming error, irrigation system breakage, or irrigation malfunction or lack of a timely repair to irrigation system.

1.16 SERVICE AGREEMENT

B. The intent of this maintenance specification is to integrate with any contractual agreement the Contractor has with the Property Owner for landscape maintenance.

C. In bidding the landscape and irrigation and maintenance work, contractor agrees to sign and abide by the terms of the contractual agreement with the Property Owner which may include requirements for indemnification and insurance.

D. Landscape Contractor's agreement with the Property Owner shall be the prevailing agreement and no requirement of this specification shall be construed to override that agreement.

PART 2 - PRODUCTS

2.1 PLANT MATERIALS

A. Conform to American Association of Nurserymen's specifications true to name. Plants shall be first quality, well-developed, firmly rooted (not root bunion) systems in their containers with normal, well-developed trunk, limbs, stems evenly and radially distributed (plant canopy) around the trunk and root crowns. Plant material is required to be free of evidence of disease, insects, insect eggs, larvae and weeds. Prior to planting, plant materials deemed unsuitable shall be rejected either during or after site delivery by the Owner's Representative. Plant materials damaged during delivery, off-loading, or as a result of neglect or abuse while plant materials are in a pre-plant, on-site holding area shall be rejected. Plant material shall be rejected if their containers are cracked and/or broken. Plant materials shall be rejected if root balls are lopsided or collapsed, dried out and/or root balls determined by the Owner's Representative to have been recently removed from their containers. Plant material shall be rejected if a substantial loss of rooting soil within the containers is present or substantial loss of foliage is present as a result of recent (pre-delivery) pruning by the nursery is evident. Trees shall be rejected when root-collar/root flare is observed to appear buried, kinked, girdled or circled. Trees specified in 'standard' form shall be rejected if no central leader exists, trunk is noticeable bowed, spreaded and/or old or new scarring is present. Container sizes larger than what is specified on the plans may be used with approval by the Owner's Representative, but at no extra cost to the Property Owner.

2.2 FERTILIZERS

A. Approved first quality, standard brand complete organic fertilizer conforming to applicable state fertilizer laws.

- 1. Uniform in composition, dry, free flowing, delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed analysis.
2. Fertilizer composition shall be based upon the required yearly site soil test.
3. Apply at rates recommended in the soils report.

2.3 PESTICIDES

A. Pesticides approved by the Environmental Protection Agency and local jurisdictions. Submit product literature for approval by the Owner's Representative.

- 1. Apply at rate recommended by manufacturer.

2.4 HERBICIDES

A. Post- and pre-emergent herbicides approved by the Environmental Protection Agency and local jurisdiction.

- 1. Apply at rate recommended by Manufacturer.

2.5 SOIL AMENDMENT

A. Composted Greenwaste amendment available from regional or local sources. Amendment shall contain minimum 270 pounds of organic amendment per cubic yard of amendment or as specified in soils report. Amendment shall be reviewed and approved by Owner's Representative.

2.6 BARK MULCH

A. Apply bark mulch matching originally specified product. If not available from the original product source, provide shredded wood product matching size and color.

2.7 TREE STAKING

A. Tree stakes shall be non-treated 2" diameter pine, chamfered at top of stake. Length shall be 8' min.

B. Tree ties shall be elastic ties as originally specified. Length of tie as required. Connect to stake with fasteners as originally specified as required to attach tie securely to wood stake.

2.8 RODENT AND RABBIT PEST MANAGEMENT (IF REQUIRED)

A. Contractor shall be prepared to implement a pest management program to control rodents and rabbits that could cause damage to plant materials.

- 1. Where feasible, utilize tamperproof trapping devices to control infestations. Submit product literature for review and approval by the Owner's Representative.
2. Utilize EPA-approved rodenticides/applied at manufacturer's recommended rates. Submit product literature for review and approval by the Owner's Representative.

PART 3 - MAINTENANCE

3.1 GENERAL MAINTENANCE

A. Horticultural Soil Testing: Test soil every other year beginning two-year post construction.

- 1. Provide two (2) samples (6-8" depth and 18-24" depth) from planting areas to test for Nitrogen, Phosphorus and Potassium levels, including micronutrients, SAR values, pH, and organic matter. The number of samples may vary based upon new soil site soils and/or conditions.
2. Samples shall be collected from a minimum of two (2) different locations on the site.
3. Contact soil-testing lab for specific sampling guidelines and handling, unless Contractor defers sampling collection to the responsibility to a Soils Consultant.

B. Provide copy of analytical test results with fertilizers and soil amendment recommendations from the Soils Laboratory to the Property Manager and Owner's Representative for his/her record and for any immediate or timely actions to be performed by the Contractor.

C. Leaf Collection: Collect fallen leaves from planting and paved areas, including sidewalks. Remove and dispose of leaf litter from the site in a legal manner.

D. Clean Up and Litter Removal:

- 1. Sweep or blow-off all walks and curbs at each site visit. Parking lots will be swept by others.
a. Do not use leaf blowers in planter areas to collect and remove leaves.
b. Do not use blowers prior to 6:00 A.M. or after 10:00 P.M. or at any other hours restricted by local jurisdiction.
c. Do not use blowers around parked vehicles to avoid scratching vehicle paint with blowing sand and debris.
d. Where use of blowers is prohibited by City or County ordinances use alternate methods.

E. Remove all litter from sidewalks, gutters, and planted areas during each site visit. In no case shall trash, litter, or leaves be blown or swept onto the street or property of others.

F. Collect all trash, litter, leaves, etc. haul away, and dispose off-site in a timely and legal manner.

3.2 IRRIGATION

A. Water Application & Scheduling:

- 1. Hand water when required to supplement natural rainfall and irrigation system, and to maintain plantings in a healthy, stress-free condition. Make sure plants receive adequate water regardless of weather conditions.
2. Conserve water and ensure that all State, City and County ordinances and regulations are followed. Any penalties, fines or citations for watering ordinance violations shall be paid by the contractor.
3. Utilize the permanent irrigation system, and supplement with hand watering as needed. Failure of the irrigation system to provide full and proper coverage does not relieve Contractor of the responsibility to provide adequate irrigation.
4. Contractor is responsible for the complete operation and maintenance of the irrigation systems, except as noted below. Examine the irrigation system for damage during required visits and report damage or malfunction to the Owner's representative in writing. If contractor fails to report the broken or malfunctioning irrigation system components within one week of the breakage or malfunction, contractor will be responsible for all damages resulting from the broken irrigation system component.
5. Adjust watering lines each month and respond to weather changes. Do not over-water plantings. Use multiple-start times and short run times to prevent run-off. Do not allow run-off from any irrigation.
6. When breakdowns or malfunctions exist, hand water, if necessary, to maintain all plant material in a healthy condition. If the irrigation repairs are major and not the fault of the contractor they may be billed as additional work. Do not wait for approval to begin hand watering if required to save the plantings.
7. Contractor shall be responsible for excessive water bills due to breaks or damage to irrigation system that should have been repaired, and/or could have been reasonably foreseen.

B. Irrigation System Scheduled Maintenance:

- 1. During each required site visit complete the following:
a. Check the entire irrigation system when the system is pressurized for items such as dry spots and missing or malfunctioning irrigation components. Check for leaking or damaged valves, water running across sidewalks, water standing in puddles, or any other condition which hampers the correct operation of the system or the public safety, immediately repair deficiencies.
b. Check for exposed piping paying particular attention to shallow drip tubing. Bury any exposed piping to originally specified depths.
c. Carefully observe plant materials for signs of wilting that may indicate an irrigation system problem. Plants which die due to irrigation failure will be considered to have died due to the contractor's negligence and shall be replaced at the contractor's expense.
d. Eliminate any puddling or excessive run-off of water from the irrigation system onto any paved areas, immediately shut down the irrigation system and make adjustments, repairs, or replacements as soon as possible to correct the source of the run-off.
2. Maintain the irrigation system, including cleaning of filter screens yearly or more often as needed, and flushing pipes, as part of this contract.

C. Irrigation System Repair:

- 1. Replace or repair, at contractor's expense, minor irrigation damage, unless due to excluded damage. Make repairs within one week of the day the damage occurred.
2. If the damage was due to excluded damage or determined to be a major item, the irrigation repairs will be paid for as additional work.
a. Make notification of needed repairs within two weeks of the day the damage occurred as noted in the General Requirements section of these specifications.
b. Regardless of the cause of damage, take immediate action to prevent further damage by shutting off the damaged part of the irrigation system and commencing with hand watering as needed.
c. Make repairs as soon as possible after receiving written or verbal authorization to proceed.

D. Replace irrigation system components with materials of the same manufacturer and model as the original equipment.

- 1. Substitutions of materials other than original equipment will be approved only when the original equipment has been discontinued and is no longer available for purchase at any location.
2. The substituted equipment must be completely compatible with the original and must be approved in advance by the Owner's representative.
3. All repairs to the system shall be identical to the original installation, unless approved otherwise in advance by the Owner's representative.
4. If a change to the installation will result in lower future maintenance costs, less frequent breakage, or an increase in public safety, request authorization to make the change from the Owner's representative.
5. Do not attempt to clean plastic nozzles by sticking knife blades or wire into the openings.

3.3 TREES, SHRUBS, PERENNIALS, ORNAMENTAL GRASSES AND GROUND COVERS

A. Fertilization:

- 1. Notification: Notify the Property Manager at least five (5) days in advance of the application of fertilizer. Failure to notify will be considered non-performance of work and payment may be withheld or reduced proportionately. Provide the Owner's Representative with invoice to verify purchase of fertilizer.
2. Trees, Shrubs, Perennials, Ornamental Grasses and Ground Covers: Apply fertilizer twice during the growing season or at the rate specified in soils report. Fertilizer composition shall be as specified in the soil test results. Do not apply nitrogen fertilizers to Ornamental Grasses during the growing season. Apply fertilizers with spin-type spreader such as the Ortho-Windy bird or Cyclone spreaders. Do not use drop-type spreaders. Apply when leaves are dry, and water thoroughly. Avoid contact with soil. Do not apply fertilizer during rainy conditions or when rain is likely to occur during application.
3. Fertilization of trees may be deleted from contract when they have reached maturity and are reviewed and approved by the Property Manager.
4. Prevent fertilizer particles from entering the adjacent storm drain system. Thoroughly sweep up and collect all fertilizer particles off of adjacent curb and pavement immediately following application. Apply iron sulfate fertilizer (if required) cautiously avoiding contact with moist concrete since staining may result. Reuse product or dispose of from the site in a legal manner.

B. Pruning:

- 1. Trees: Accomplish minor pruning in accordance with highest standards of professional pruning practices in such a manner as not to alter the functionality or natural shape and the intended function of the tree. Major structural pruning shall be done or under the supervision of a Certified Arborist. Prune deciduous trees during their dormant period and evergreen trees during late summer. Remove all pruning debris from the site and recycle or dispose in a legal manner.
2. Shrubs and Groundcovers: Prune shrubs, perennials and groundcovers only to remove dead growth, or to remove growth encroaching over sidewalks or curbs. Allow shrubs, perennials and groundcovers to grow unpruned to their natural size unless otherwise

specified. Shearing of shrubs is permitted only on shrubs uniformly planted in rows, where it is clear the intent was to create screen hedge type massing. Trimming of groundcovers is permitted when plant material encroaches over edge of walkways or curbs. Encourage shrubs in screen hedges through pruning to form a dense, continuous hedge, branching fully to the ground. Selectively prune all other shrubs, perennials and groundcovers only as required for safety, visibility, and plant health, and to allow development into the natural shapes expected of the plant variety.
3. Ornamental grasses: Shear the dead foliage from deciduous grasses from 4" to a maximum 6" height in late winter when plants have dried out (brown) and have entered dormancy.
4. Any shrubs or trees improperly pruned to the point where it will not return to its natural form shall be replaced with material equivalent in quality and size. The owner's representative shall make the determination if replacement is required.
5. Contractor is to prune all tree limbs adjacent to walkways & sidewalks to maintain 8' minimum of overhead clearance.

C. Surface Roots:
1. As required to prevent damage to adjacent paved areas or liability issues, after consultation with an Arborist, surface roots may be removed in accordance with Arborist's direction.

D. Staking:

1. Maintain stakes (three per tree, two min.) on remaining trees and insure that they provide proper support as required. Ties shall be adjusted and/or replaced as needed to prevent girdling. No stakes should remain over three years after planting, unless directed by the Certified Arborist. Remove stakes from site and dispose in a legal manner.

E. Application of Pesticides/Herbicides:

- 1. Notification: Notify the Property Manager at least five (5) days in advance of the application of pesticides or herbicides. Notification shall include name of material, rate of application, and locations of proposed application. Failure to notify will be considered non-performance of work and payment may be withheld or reduced proportionately. Provide the Property Manager or the Owner's Representative with invoice verifying purchase of pesticide.
2. All spraying shall be performed by or under the direction of an applicator possessing a valid State of California Public Pesticide or Herbicide Applicator's license. Provide notice on site as required by law.
3. Spot spray only as required to combat specific weeds, insect pests or infestations. No general broadcast spraying is permitted. Spray only during windless periods as to not contaminate surrounding area or properties. No spraying to occur in or near wetlands or other sensitive areas. No spraying shall be performed when vehicles or the public are present.
4. Re-spray within 2-weeks from original application any areas which still exhibit weeds, pests or infestations.
5. Prevent pesticide and herbicide material from entering the adjacent storm drain system. Thoroughly remove spillage off of adjacent curb and pavement immediately following application. Do not wash spillage down drain inlets. Dispose of from the site in a legal manner.

F. The Contractor shall supply the Property Manager and/or Owner's Representative with a written copy of the spray application record, which shall contain the following information:

- 1. The name of the company and person who applied the pesticide.
2. The name of the person requesting the pesticide application.
3. The reason the pesticide was applied.
4. The location where the pesticide was applied.
5. The year, month, day and time the pesticide was applied.
6. The person or firm who supplied the pesticide that was applied.
7. The trade name of the pesticide that was applied.
8. The direction and estimated velocity of the wind at the time the pesticide was applied.
9. The name of the Pesticide or Herbicide Applicator's license holder.
10. Any other reasonable information required by the Owner's Representative.
11. Labor hour and rate (if subcontracted).

G. Weeding: All planter beds shall be kept clean and free of weeds, seedlings and any invasive or non-specified plant materials. Hand weeding is preferred; however, pre-emergent and post-emergent herbicides may be used after one-year establishment period for new plantings has elapsed. Completely remove all weeds in curb or paving cracks throughout the site.

H. Mulching of Planter Bed Areas: Maintain bed areas on a monthly basis to keep a clean, fresh appearance and to remove litter and debris. Rake and sweep back any mulch or soil which has eroded onto parking lots and walkways in all planter bed areas. Maintain finish grade at planters per the original landscape plans and specifications. Do not deeply cultivate any areas with tools to prevent feeder root damage. Rake areas to redistribute and evenly spread mulch to maintain a two (2") minimum depth or depth as specified in original landscape plans and specifications, whichever is greater. Replenish all mulched areas after any miscellaneous construction operations have been performed in the area and are completed. Replenish all mulch areas once per year in spring and as necessary throughout the year.

I. Aeration: Some tree root zones can become compacted due to heavy pedestrian or vehicular traffic. These trees should be aerated once a year. Water, nutrients, and air can be provided to trees by using a deep root irrigator/feeder. This should be done at least every two years on mature trees. Apply at the drip-line at least every four feet entering the ground 12-18 inches on their natural shape.

3.4 BIO-RETENTION AREAS

A. Inspection: Inspect inlets, overflows, slopes and observation wells annually and after major storms, as needed, to insure facilities are clear of any obstructions to maintain flow and prevent erosion and instability. Remove any soils or debris creating blockages from the site and recycle or dispose in a legal manner. Review soil at bottom of the facility for uniform infiltration and confirm that check dams and flow spreaders are in place and level.

B. Irrigation: Maintain operation for plant establishment and as supplemental supply during periods of prolonged drought. Ensure that irrigation is not excessive.

C. Fertilization: No use of fertilizers in facilities.

D. Pruning: Annually prune or cut back plants for health and to ensure flows into inlets and across the surface of the facility. Remove and replant dead or dying material as needed. When replanting, maintain design surface elevation.

E. Pesticides: No use of synthetic pesticides on facilities.

F. Weed Control: Annually as needed and frequently enough to identify and eradicate weeds prior to seed set by cultural, mechanical or physical means. Least toxic herbicides may be considered for use as a last resort option.

G. Mulch: Annually replace as needed to maintain a two (2") minimum depth or as specified in original landscape plans and specifications, whichever is greater. Do not apply mulch in ponding zone just prior to or during rainy season. Maintain finished elevations as shown on civil plans.

3.5 RODENT AND RABBIT CONTROL (IF REQUIRED)

A. Notification: Notify the Property Manager or the Owner's Representative at least four (4) days in advance if application of rodenticides and/or rabbit trapping devices is required. Notification may be given by the Property Manager. Notification shall include name of material, type of rodenticide being used and rates of rodenticidal application. Contractor shall coordinate the locations of rodent bait boxes and/or rabbit trapping devices on the site with the Property Manager. Failure to notify the Property Manager or Owner's Representative will be considered non-performance of work and payment may be withheld or reduced proportionately. Provide the Property Manager or the Owner's Representative with the invoice verifying purchase of rodenticides and/or rabbit trapping devices.

B. Before commencing the work, Contractor shall contact either County or City Pest Control jurisdictions for recommendations for proper placement, removal and disposal of captured rodents and/or rabbits.

C. The Contractor shall be responsible for placement and disposal of all rodenticides and rabbit trapping devices including removal and disposal of all captured rodents and/or rabbits, either dead or alive, off site in a timely, appropriate and humane manner. The Contractor shall check bait boxes and/or trapping devices frequently, scheduling when placement and disposal pick-ups will occur, with the Property Manager or Owner's Representative.

D. Frequency of bait box servicing shall depend upon the level of rodent infestation. All bait boxes shall be maintained in accordance with EPA regulations, with an emphasis on the safety of non-target organisms. The Contractor shall adhere to the following rules:

- 1. All bait boxes shall be placed out of the general view of the public and in locations where they will not be disturbed by routine property or landscape operations.
2. The lids of all bait boxes shall be securely locked or fastened shut.
3. All bait boxes shall be securely attached or anchored to the ground, wall or other surface, so that the box cannot be easily picked up or moved from its intended location.
4. Bait shall always be placed in the bait-protected feeding chamber of the box and never in the bait tray.
5. All bait boxes shall be labeled with the Contractor's business name and address and dated by the Contractor's technician at the time of installation and at each servicing.

END OF MAINTENANCE SECTION

PRUNING SUPPLEMENT

The purpose of these specifications are to protect and maintain the tree plantings for the project for which these plans have been prepared.

On an annual basis the Owner/ Lessor shall retain the services of a Certified Consulting Arborist to review the condition of all trees within the property/ lease area and provide a written report outlining findings and recommendations. The Arborist shall be selected from the governing agency's approved arborist list. The report shall conform to the International Society of Arboriculture recommendations and reference the prepared Landscape and Irrigation Plans as the basis for all recommendations.

TREES

No tree work shall be done except as directed by the arborist and without prior approval and direction from Property Manager. No work shall occur within habitat areas within nesting season (February-August) if active nests are found on site.

1. Pruning:

- A. Trees shall be pruned as required to remove broken, diseased branches for general safety. It shall be the Contractor's prime responsibility related to pruning to conduct a pruning program as directed by the Arborist and approved by Property Manager. This program should minimize pruning and only be performed when necessary. Aesthetic pruning is not permitted.
B. Pruning shall be done to ANSI A300 standards by those experienced and skilled in pruning techniques. All cuts shall be done using proper horticultural practices.

C. Topping of trees is prohibited.

D. Pruning under this specification is limited to that which may be done from the ground.

E. Prune trees to allow for necessary clearances for pedestrians and vehicle circulation. Maximum canopy clearance of twelve (12) feet.

Tree pruning is both an art and a science. Proper pruning is paramount to long term tree health and vitality and their aesthetic and energy conservation value. Many trees are incorrectly topped or pollarded, forever destroying their natural shape and size while greatly shortening their lives. It is better to leave a tree alone